

2022/00066/RG3 and 2022/00067/CAC



STATUS	REV	DATE	DESCRIPTION
PL	PL11	10/01/2022	Planning application issue.
PL	PL09	02/12/2021	Planning pre-application consultation issue.
S3	P34	26/11/2021	Draft PAC issue.
PL	PL03	29/06/2020	Planning issue.
PL	PL01	11/06/2020	Pre-application consultation issue.

CLIENT	REVISOR
Vale of Glamorgan Council	JP
	CHECKED BY
	JP
	ORIGINATOR NO
	152853

CONSULTANT
STRIDE TREGLOWN
www.stridetreglown.com © Stride Treglown Limited 2020
 PROJECT
 St Nicholas Church In Wales Primary School
 St. Nicholas, Vale of Glamorgan

Site Location Plan
1 : 1250

DRAWING TITLE	SCALE
Site Location Plan	1 : 1250@A3
SUITABILITY STATUS	PL : Authorized and accepted
DRAWING USAGE:	
PROJECT - ORIGINATOR - VOLUME - LEVEL - TYPE - ROLE - CLASS - NUMBER	STATUS_REVISION
SNPS-STL-XX-XX-DR-A-0001	PL_PL11



Proposed Site Strategy
1 : 500

Red line area as shown is 12,015m2

Pupil Numbers:
12 Nursery
126 Primary

BB99 Likely site area for a primary school of this size on an un-confined site ranges from 6,416m² to 7,168m² - Therefore the site is considered adequate.

- Planning red line boundary
- Existing School Building Footprint
- Fence - refer to landscape boundary treatment plan for specification and height.
- Stainless steel bollard protection / railings to include breaks for drop kerb maintenance vehicle access.
- Pedestrian single gate
- Pedestrian and maintenance vehicle access gate
- Site entrance vehicle gates

Landscape

This drawing is to be read in conjunction with the accompanying Stride Treglown landscape drawings which provide further information on trees, planting, hard and soft landscaping.

+XXm - Proposed Levels

Levels noted are subject to review and design development.

BB Net Site Areas As Shown		
Type	Area	Comments
Site_Grass Pitch	3600.00 m ²	BB99 target area is 2520m2
Site_Habitat	860.88 m ²	BB99 habitat target area is 338m2 inc. nursery.
Site_Grass Informal Soft Play	1187.62 m ²	BB99 soft play target area is 1,145m2 inc. nursery.
Site_Informal Hard Play	796.37 m ²	BB99 hard play target area is 607m2 inc. nursery
Site_Games Court	693.62 m ²	BB99 games courts target area 852m2 (Games court BB99 deficit included in informal hard play)
	7138.49 m ²	

BB Non Net Site Areas As Shown		
Type	Area	Comments
Grass (non net around entrance and perimeter areas)	940.41 m ²	Non net
Tarmac hard standing (non net) including parking and walkways within site	1253.60 m ²	Non net
Coloured tarmac to entrance areas	191.03 m ²	Non net
Tarmac hard standing (non net) including parking and walkways within site	866.23 m ²	Non net
	3251.28 m ²	

Parking:

With reference to Vale of Glamorgan parking standards SPG 2019, this site is classified as zone D - (countryside). Guidance as follows:

- 1 commercial space
- 1 space per each member of teaching staff, 1 space per 2 ancillary staff & 3 visitor spaces

20 parking spaces are proposed, including 2no. EV spaces.

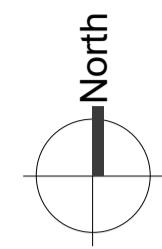
Visitor, service vehicle and minibus parking is also provided in addition to the above.

STATUS	REV	DATE	DESCRIPTION
S1	P10	10/06/2020	Issued to transport for tracking.
S1	P11	11/06/2020	Issued to project team for review.
S1	P12	11/06/2020	Hydrant tank added
S3	P30	05/11/2021	Re-issued to reflect reduced building footprint re-design.
S3	P31	16/11/2021	Plant and bin enclosures relocated.
S3	P33	24/11/2021	Plant enclosure reconfigured with minor relocation of MUGA to accommodate. Hydrant tank footprint increased. Building moved SW by 2m.
PL	PL09	02/12/2021	Planning pre-application consultation issue.
PL	PL11	10/01/2022	Refuse store relocated.
PL	PL12	12/01/2022	Planning issue. Footpath at front of site widened. Front of minibus space angled to allow forward movement.
PL	PL13	30/03/2022	Drawing updated to reflect latest landscape and highways amendments.

2022/00066/RG3 and 2022/00067/CAC

Legend

- Site boundary.
- Hard Landscape**
Refer to SNPS-STL-XX-XX-DR-L-9002 Hard Landscape and External Furniture Plan
- Coloured tarmac to main entrance area, supplied by Tarmac Industries of similar approved, in beige colour. Build up to engineers specification.
- Tarmac surfacing to MUGA. Permeable tarmac to be confirmed by Drainage Engineers.
- Tarmac surfacing to vehicular zones. Heavy duty tarmac surfacing, recycled sub-base to gain BREEAM points. Build-ups to engineers details.
- Concrete surfacing to cycle shelter zone, plant, substation, refuse and sprinkler tank stores. Drainage to refuse store to engineers specification. In situ poured concrete with concrete 50mm pin kerb edging.
- Tarmac to playgrounds and maintenance zones. Build-ups to accommodate maintenance vehicle loading, recycled sub-base to gain BREEAM points. To engineers final specification.
- Tarmac surfacing to pedestrian pathway. Light duty tarmac surfacing, recycled sub-base to gain BREEAM points. Build-ups to engineers details.
- Coloured tarmac to service and visitor drop off laybys in, supplied by Tarmac Industries of similar approved, in brown-ochre colour. Build up to engineers specification.
- Play surfacing to nursery/reception zone. Wetpour surfacing, colour to match architectural facade panels. Critical fall height by DCM to 1.5m. Refer to manufacturers specification and build-ups.
- Off Site Road.



Sprinkler enclosure:
Additional hydrant tank shown. Final arrangement to be confirmed.
6.110 x 1.542m to rim – overall height 2.742m as drawn.
Hydrant tank 7.640 and overall height of 2.742m (this is to top of ladder)
Top of ladder and guard rail around platform are 1.2m above rim height.

Area for maintenance vehicles to access soft landscaping behind the MUGA and services compound

Replacement hedgerow to front of school

White lining restrictions to school entrance zone, subject to Local Highways Authority approval



Soft Landscape

- Refer to SNPS-STL-XX-XX-DR-L-9003 Soft Landscape Plan for details.
- New tree planting.
Refer to drawing SNPS-STL-XX-XX-DR-L-9403 Typical Tree Pit in Soft Landscape
- Existing trees to be retained to BS 5837:2012.
- Habitat area to school environs.
- Amenity Grass: Seeded grass for general areas. Multi-purpose seed mix.
- Ornamental shrub planting
Mixed planting planted at 3-5L pot size.
- Rain garden planting
Construction of rain gardens to be detailed by engineer. List of planting is typical planting schedule for rain gardens and subject to further study. Rain garden planting densities/ spacing are subject to further detailed studies, working in coordination with the Engineer. Drainage rates/ flows to be calculated by Engineers.
- Grass pitch.
Sports pitch seeding to be implemented.
- Existing habitat to be retained, including fence line.
- Wildflowers swatches
- Existing mound
- Native hedging (along western boundary): Planted as whips in a double staggered row (5 per lin. m).
- Formal Ornamental Hedge (to front boundary of school). Planted as whips in a double staggered row (5per lin.m).

Outdoor Furniture

- Fence.
Refer to drawing SNPS-STL-XX-XX-DR-L-9004 Fencing and Security Plan for details.
- SuDS Planters. 5No.(2000mm x 950mm x 600mm. & 6No. Timber planters to window. (3200mm x 600mm x 400mm). Soil to be provided and planted up by the school children.
Both types are made by Bespoke Manufacturer from powder coated steel and timber, to include integrated drainage components.
- Growing gardens, raised timber sleeper planters, to be planted up by the school children. Refer to drawing SNPS-STL-XX-XX-DR-L-94000
- Accessible Parking
- Site Entrance. Double Leaf Vehicle Gate 6m wide
- Pedestrian and/or maintenance. Double Leaf Gate 2m & 2.4m wide
- Pedestrian Single Leaf Gate 1.2m wide
- Bollard.
Refer to drawing SNPS-STL-XX-XX-DR-L-9002 Hard Landscape Plan for details.
- Potential location of Scooter Parking Pod.
- Cycle canopy and stands. 5No. stands per shelter, 20No spaces in total. Cycle shelters 4100mm in length and has enclosed sides. Base plated, Galvanised steel. To include 5No. 'Sheffield' cycle stand racks 10No. hoops in total. Galvanised steel, surface fixed.
Refer to drawing SNPS-STL-XX-XX-DR-L-9401 Cycle Shelter and Stands for details.
- Thermoplastic paint markings to car parking and loading bays. White/yellow colour to British Standards.
- Tactile paving to pedestrian crossings and to dropped kerb roadway entrance/exit. British Standard 'Blister' paving in Charcoal colour, by Charcon. 400x400x50mm. Build-ups to engineers specification.
- Main Entrances
- Secondary Entrances
- Recycling bins.
- General waste bins.
- Accessible parking space.
- Electric charging space.
- Hibernacula
- Log pile
- Bee hotel
- Bug Hotel

2022/00066/RG3 and 2022/00067/CAC

PL	PL13	30/03/22	Planning submission update following LPA comments
S3	P36	17/01/22	Stage 3 Issue
PL	PL12	12/01/22	Planning Submission Update
PL	PL11	10/01/22	For Planning Submission
PL	PL10	17/12/21	OS map corrected.
PL	PL09	02/12/21	Planning Pre-Application Consultation Issue
S3	P34	25/11/21	Updated Planning PLC
PL	PL07	30/09/20	Updated notation and planting for planning
PL	PL06	17/09/20	Highways input update for discharge of conditions
PL	PL05	11/09/20	For discharge of conditions
PL	PL04	09/09/20	Amended for Planning Issue
S4	P01	07/08/20	For Stage 3 Issue
PL	PL03	25/06/20	For Planning
PL	PL02	15/06/20	PAC Submission
PL	PL01	12/06/20	PAC Submission

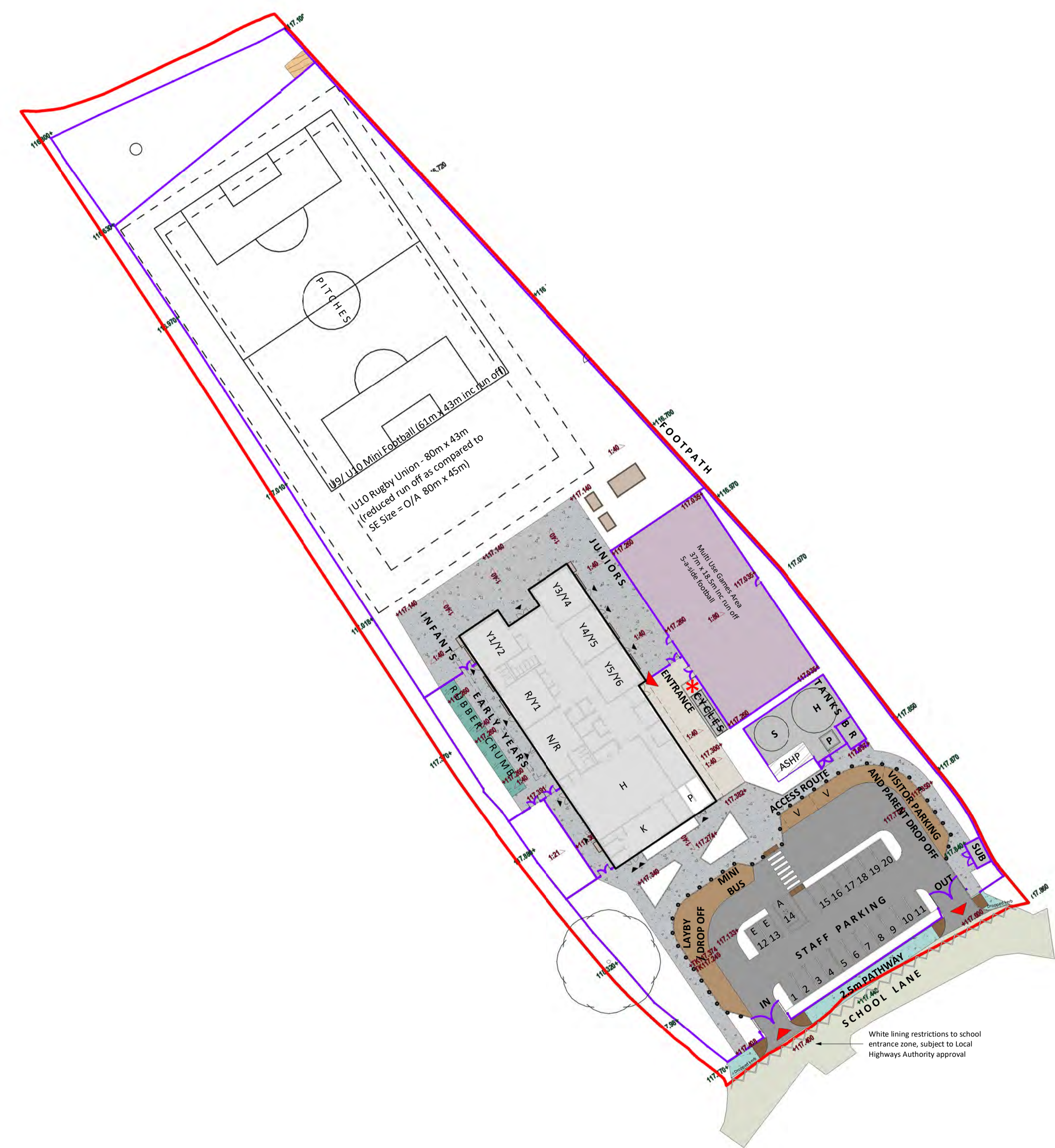
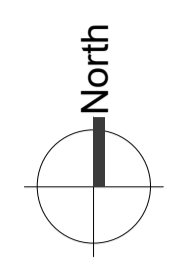
STATUS	REV	DATE	DESCRIPTION	REVISED BY
CLIENT				AP
Vale of Glamorgan Council				CHECKED BY
				CS
				ORIGINATOR NO
				152853

CONSULTANT
STRIDE TREGLOWN
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PROJECT
St Nicholas Primary School

DRAWING TITLE
General Arrangement Plan

STATUS CODE	SCALE
S3 : Suitable for review and comment	1 : 500@A1
DRAWING USAGE: PLANNING	
PROJECT - ORIGINATOR - VOLUME - LEVEL - TYPE - ROLE - CLASS - NUMBER	STATUS - REVISION
SNPS-STL-XX-XX-DR-L-9001	PL_PL13

General Arrangement Plan
1 : 500



Legend

- Site boundary.
- Hard Landscape**
 - Coloured tarmac to main entrance area, supplied by Tarmac Industries of similar approved, in beige colour. Build up to engineers specification.
 - Tarmac surfacing to MUGA. Permeable tarmac to be confirmed by Drainage Engineers.
 - Tarmac surfacing to vehicular zones. Heavy duty tarmac surfacing, recycled sub-base to gain BREEAM points. Build-ups to engineers details.
 - Concrete surfacing to cycle shelter zone, plant, substation, refuse and sprinkler tank stores. Drainage to refuse store to engineers specification. In situ poured concrete with concrete 50mm pin kerb edging.
 - Tarmac to playgrounds and maintenance zones. Build-ups to accommodate maintenance vehicle loading, recycled sub-base to gain BREEAM points. To engineers final specification.
 - Tarmac surfacing to pedestrian pathway. Light duty tarmac surfacing, recycled sub-base to gain BREEAM points. Build-ups to engineers details.
 - Coloured tarmac to service and visitor drop off laybys, supplied by Tarmac Industries of similar approved, in brown-ochre colour. Build up to engineers specification.
 - Play surfacing to nursery/reception zone. Wetpour surfacing, colour to match architectural facade panels. Critical fall height by DCM to 1.5m. Refer to manufacturers specification and build-ups.
- Off Site Road
- Existing deck area to be retained and cleaned
- Thermoplastic paint markings to car parking and loading bays. White/yellow colour to British Standards.
- Tactile paving to pedestrian crossings and to dropped kerb roadway entrance/exit. British Standard 'Blister' paving in Charcoal colour, by Charcon. 400x400x50mm. Build-ups to engineers specification.
- External Furniture and Special Features**
 - Growing gardens. 3No. raised timber sleeper planters, to be planted up by the school children.
 - Potential location of Scooter Parking Pod.
 - Cycle canopy and stands. 5No. stands per shelter, 20No spaces in total. Cycle Shelter by Broxap, Wardale® BXMW/WAR or similar approved. Cycle shelters 4100mm in length and has enclosed sides. Base plated, Galvanised steel. To include 5No. 'Sheffield' cycle stand racks 10No. hoops in total. Galvanised steel, surface fixed. Refer to drawing SNPS-STL-XX-XX-DR-L-9401 Cycle Shelter and Stands for details.
 - Bollards. 38no. 'Swansea' galvanised steel bollards, 1000mm height above ground, 114mm diameter, root fixed at 2.5m centres. To include reflective banding. Removable bollards proposed where maintenance is required, including drop kerbs for maintenance vehicle access.
- Fence. Refer to drawing SNPS-STL-XX-XX-DR-L-9004 Fencing and Security Plan for details.
- NOTE:**
For drainage information refer to engineers plans and details

2022/00066/RG3 and 2022/00067/CAC

PL	PL13	30/03/22	Planning submission update following LPA comments
S3	P36	17/01/22	Stage 3 Issue
PL	PL12	12/01/22	Planning Submission Update
PL	PL11	10/01/22	For Planning Submission
PL	PL09	02/12/21	Planning Pre-Application Consultation Issue
S3	P34	25/11/21	Updated Planning PLC
PL	PL07	30/09/20	Updated anotation and planting for planning
PL	PL06	17/09/20	Highways input update for discharge of conditions
PL	PL05	11/09/20	For discharge of conditions
PL	PL04	09/09/20	Amended for Planning Issue
S4	P01	07/09/20	For Stage 3 Issue
PL	PL03	25/06/20	For Planning
PL	PL02	15/06/20	PAC Submission
PL	PL01	12/06/20	PAC Submission

STATUS	REV	DATE	DESCRIPTION	REVISED BY
CLIENT				AP
CHECKED BY				CS
ORIGINATOR NO				152853

CONSULTANT
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PROJECT
St Nicholas Primary School



Hard Landscape and External Furniture Plan
1 : 500

DRAWING TITLE
Hard Landscape and External Furniture Plan

STATUS CODE
S3 : Suitable for review and comment 1 : 500@A1

PROJECT - ORIGINATOR - VOLUME - LEVEL - TYPE - ROLE - CLASS - NUMBER	STATUS - REVISION
SNPS-STL-XX-XX-DR-L-9002	PL_PL13



East Elevation
1 : 100

**2022/00066/RG3 and
2022/00067/CAC**



West Elevation
1 : 100



North Elevation
1 : 100



South Elevation
1 : 100

Materials Key:

- 1 - Facing brickwork.
- 2 - Metal composite cladding panel.
- 3 - Metal standing seam roof.
- 4 - PPC aluminium windows / doors / curtain walling.
- 5 - Feature coloured spandrel panel.
- 6 - Brushed aluminium signage (individual raised lettering). Wording tbc.
- 7 - Freestanding canopies
- 8 - PVs (maximum zone - final quantity to be confirmed with developed M&E design).
- 9 - Rainwater downpipes
- 10 - Render

Notes:

Window transom and mullion patterns to be confirmed with developed M&E design.

Colours to be confirmed.

STATUS	REV	DATE	DESCRIPTION
PL	PL11	10/01/2022	Planning submission. Materials updated to render / dark brick.
PL	PL09	02/12/2021	Planning pre-application consultation issue.
S3	P34	26/11/2021	Signage wording amended.
S3	P31	16/11/2021	Elevations re-issued to reflect re-design
PL	PL08	06/10/2020	Drawing updated following planners feedback. Darker grey roof and cladding shown, as well as darker brick.
PL	PL03	29/07/2020	Planning issue.
PL	PL01	11/06/2020	Pre-application consultation issue.

CLIENT	REVISED BY
Vale of Glamorgan Council	JP
CHECKED BY	JP
ORIGINATOR NO	152853

CONSULTANT
STRIDE TREGLOWN
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PROJECT
St. Nicholas Church in Wales Primary School
St. Nicholas, Vale of Glamorgan

DRAWING TITLE
Proposed Elevations

SUITABILITY STATUS	SCALE
PL : PLANNING	1 : 100 @ A1

PROJECT-ORIGINATOR-VOLUME-LEVEL-TYPE-ROLE-NUMBER	STATUS_REVISION
SNPS-STL-XX-XX-DR-A-0201	PL_PL11



Photo from western access from School



Lane

Eastern vehicular access to car park from School Lane with dwelling of Twynbach in the background



Photo of existing playing fields from public right of way running to the east



Photo of rear of school from public right of way

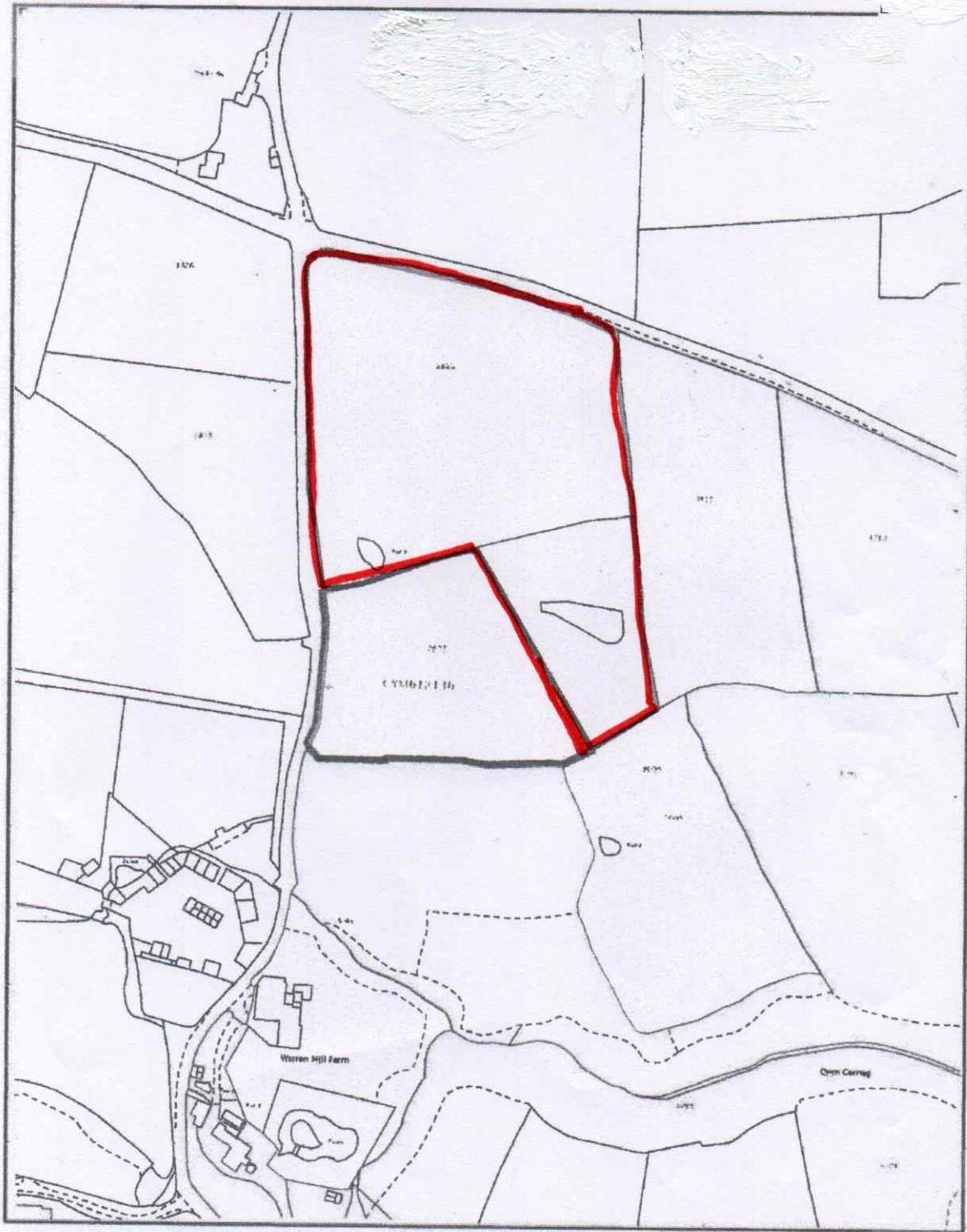


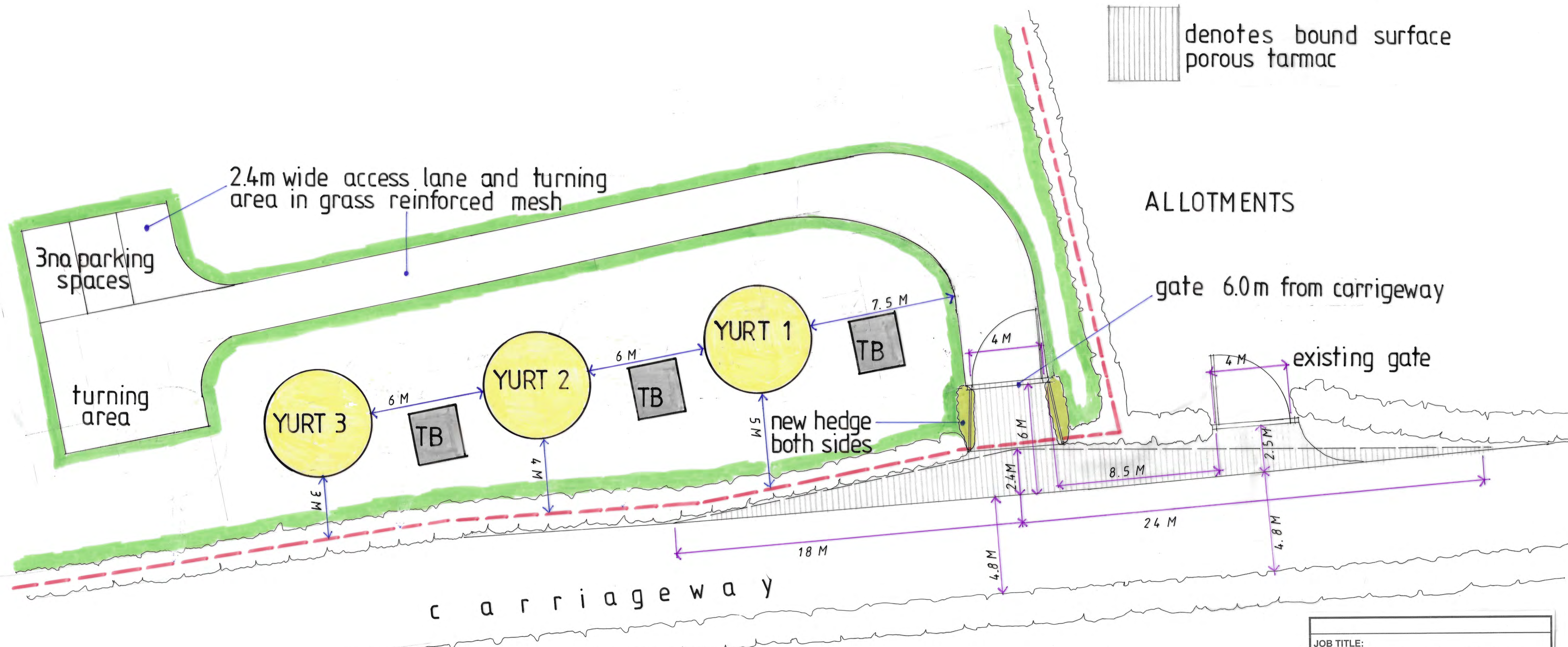
View toward main reception area showing existing hedge and drop off facility

2021/00429/FUL

Hillside, Pendoylan, Vale of Glamorgan

Site Plan – Scale 1 : 2,500





 denotes bound surface porous tarmac

ALLOTMENTS

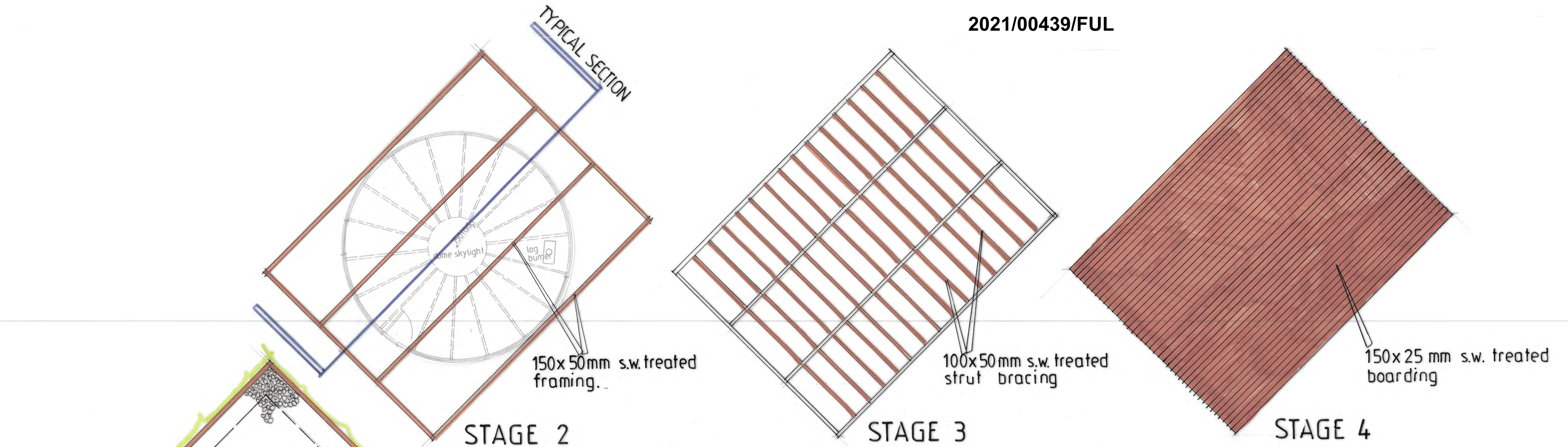
gate 6.0m from carriage way

existing gate

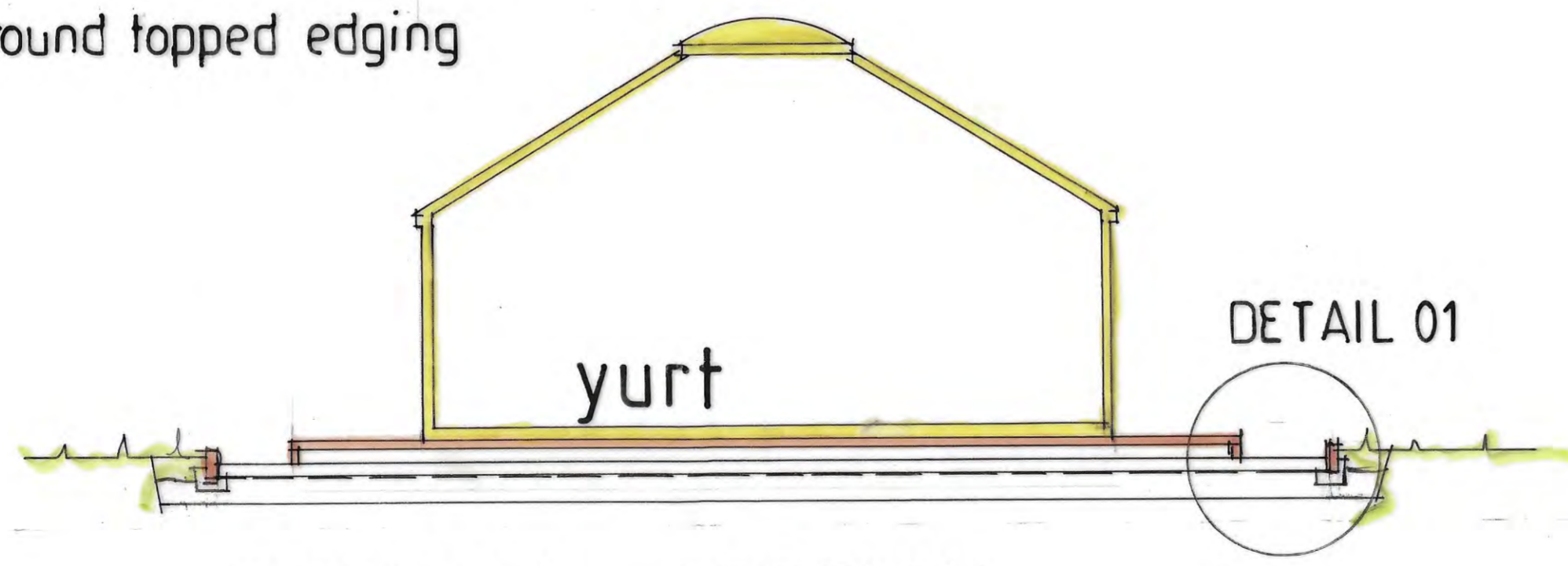
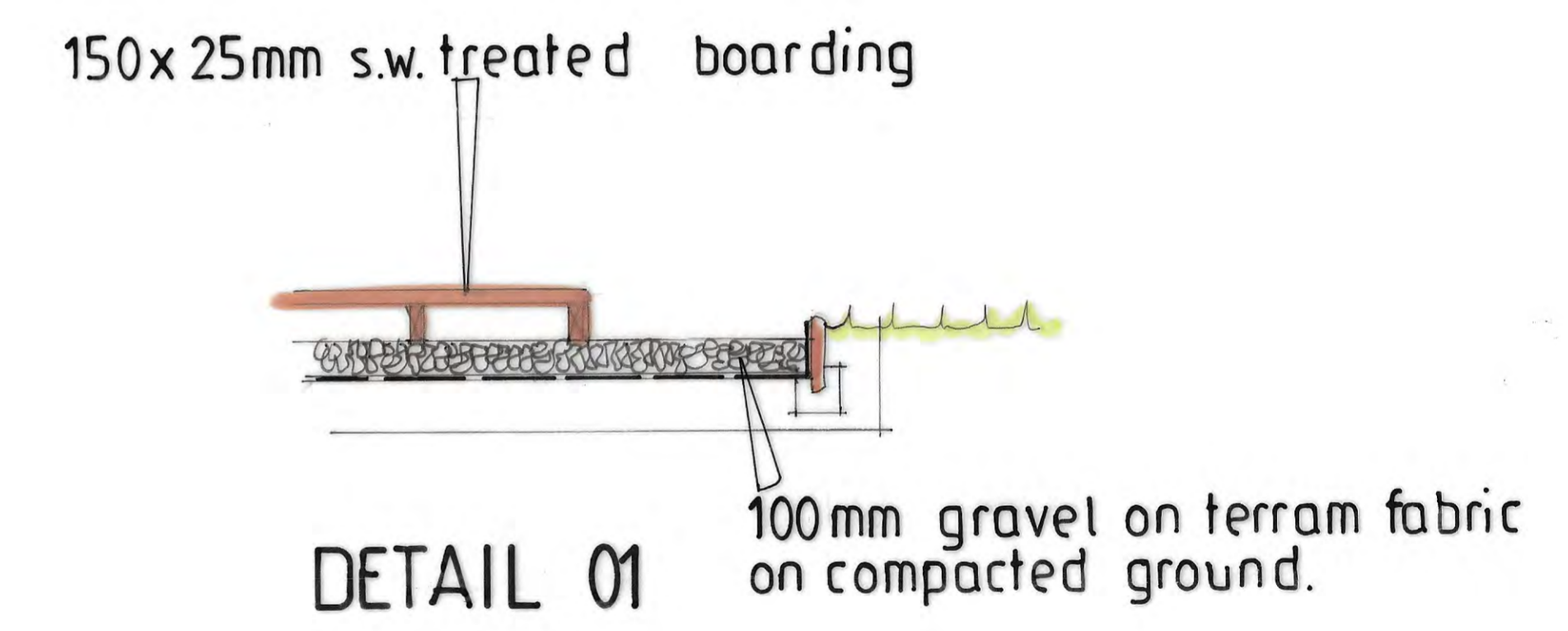
c a r r i a g e w a y

PROPOSED PART SITE LAYOUT 1:100

JOB TITLE:		
PROPOSED 3 NO. YURTS AND 3 NO. TOILET/SHOWER BLOCKS INCLUDING ACCESS AND PARKING AREA		
ADDRESS ;		
HILLSIDE, PENDOYLAN, VALE OF GLAMORGAN		
DRAWING TITLE		
PROPOSED PART SITE PLAN		
AMENDED. REV. A. 13/04/22		
TO PLANNING OFFICERS REQUIREMENTS		
SCALE	DRAWN BY:	DRAWING NUMBER:
1:100 @ A1	PH	846/P/50 A
DATE: APRIL 2022		
ANDREW PARKER ASSOCIATES		
ARCHITECTS, LANDSCAPE AND DESIGN CONSULTANTS		
TENEWITH COTTAGE, TRERHYNGYLL, COWBRIDGE CF71 7TN		
Mob: 07702 262516 Email: andrew@greatbam.com		
THESE DRAWINGS MAY BE SCALED FOR PLANNING PURPOSES ONLY		
DO NOT SCALE FROM THIS DRAWING FOR CONSTRUCTION PURPOSES		
ALL DIMENSIONS TO BE CHECKED ON SITE		
ARCHITECT TO BE NOTIFIED OF ANY DISCREPANCIES IN DIMENSIONS		
ALL WORK TO CURRENT BUILDING REGULATION STANDARDS		
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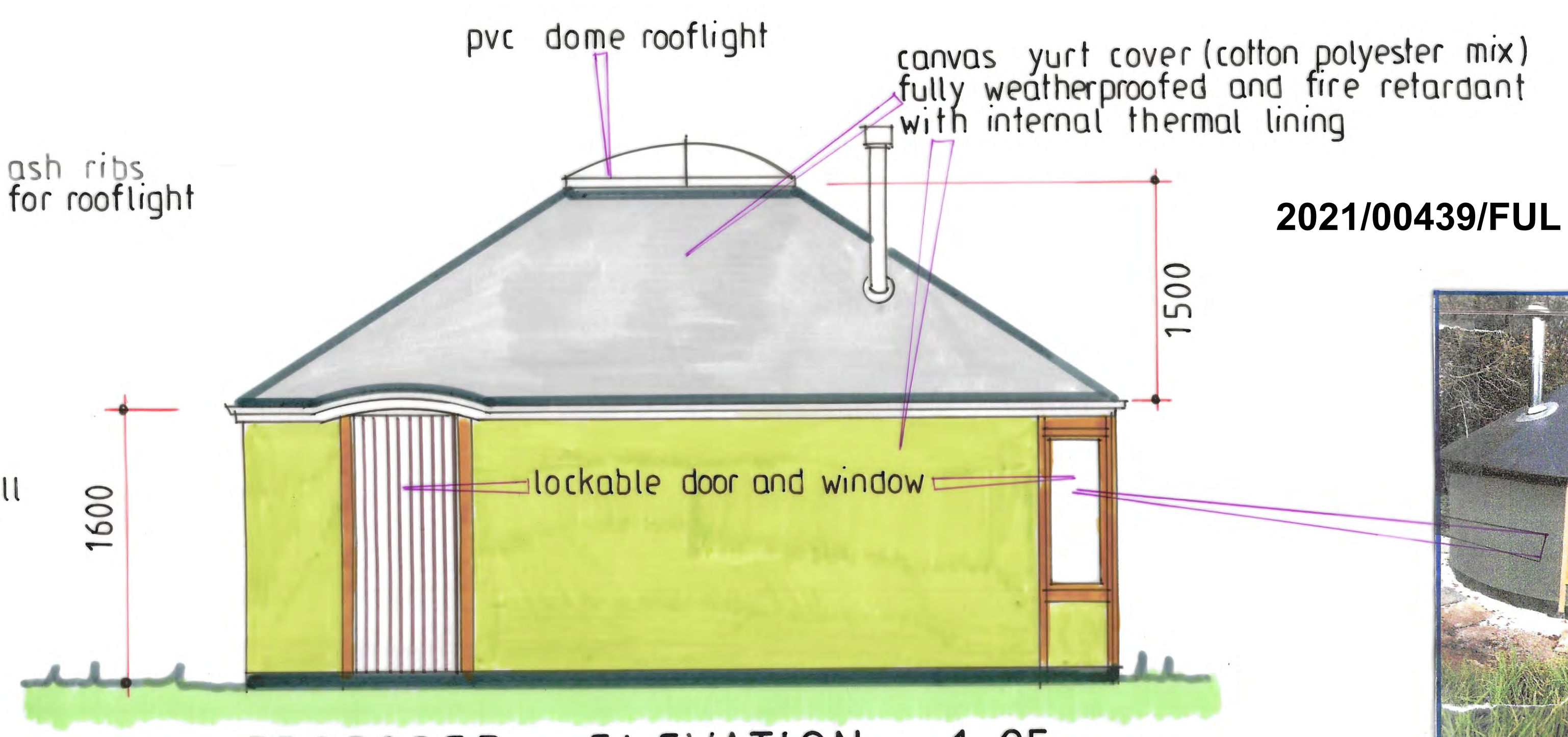
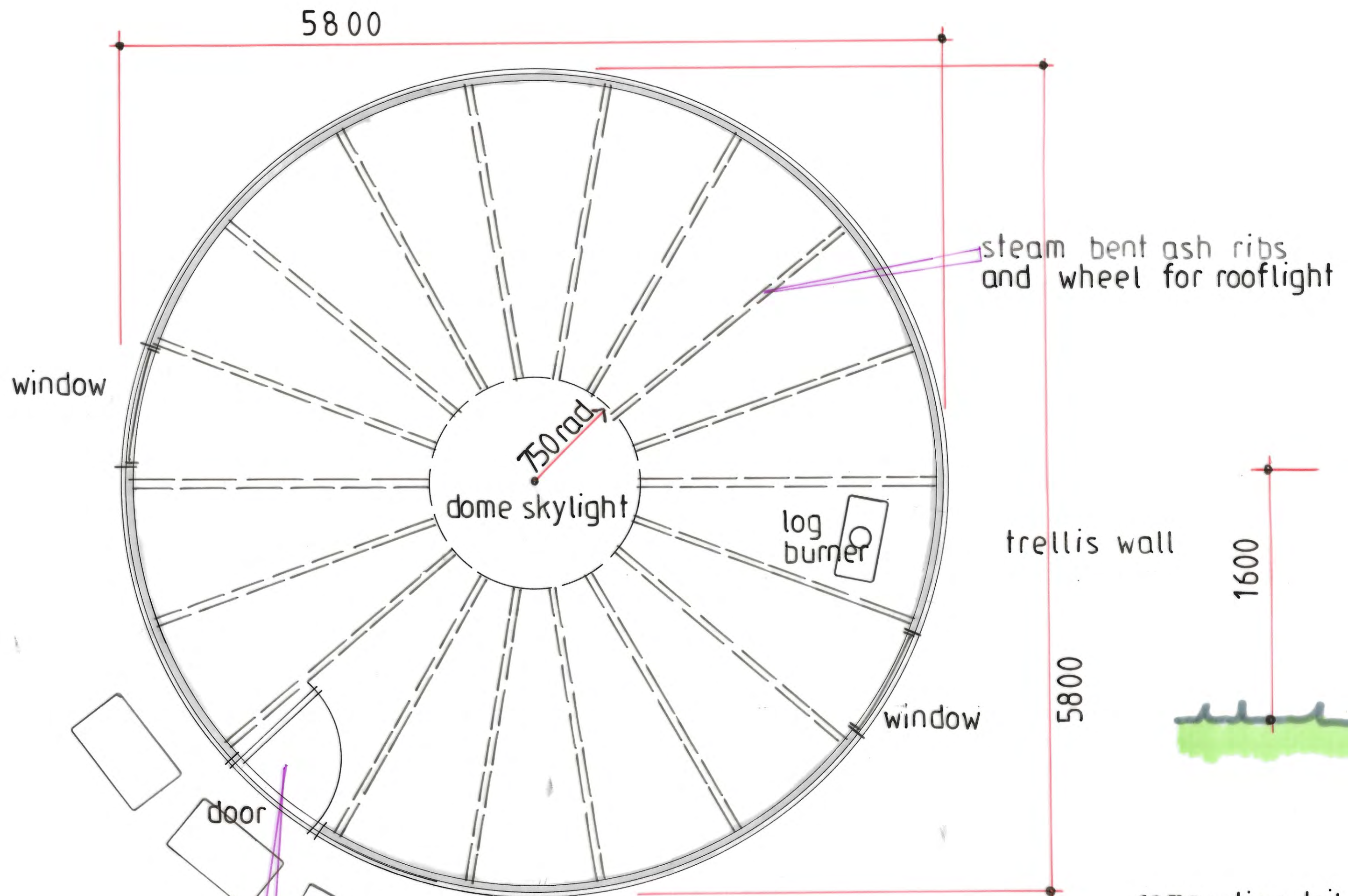


PHOTOGRAPH OF EDGING

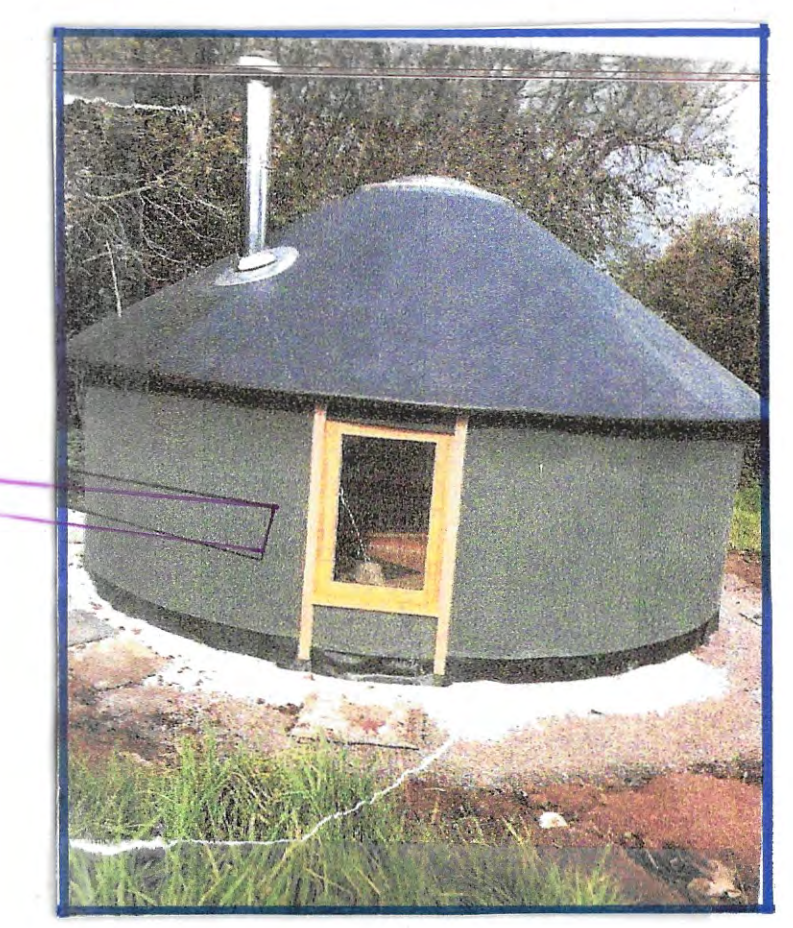


TYPICAL SECTION (INDICATING YURT ON LEVEL GROUND AND CAN BE REMOVED DURING WINTER IF YURT TO BE STORED)

JOB TITLE: PROPOSED 3 NO. YURTS AND 3 NO. TOILET/SHOWER BLOCKS INCLUDING ACCESS AND PARKING AREA		
ADDRESS: HILLSIDE, PENDOYLAN, VALE OF GLAMORGAN		
DRAWING TITLE PROPOSED YURT GROUNDWORK DETAILS		
SCALE 1:50 @ A1	DRAWN BY: PH	DRAWING NUMBER: 846/P/11
DATE: SEPT 2021		
ANDREW PARKER ASSOCIATES ARCHITECTS, LANDSCAPE AND DESIGN CONSULTANTS <small>THE OLD FARMHOUSE, TRERHYNGYLL, COWBRIDGE CF71 7TN Mob: 07702-262516 Email: andrew@greatbarn.com</small>		
<small>THESE DRAWINGS MAY BE SCALED FOR PLANNING PURPOSES ONLY DO NOT SCALE FROM THIS DRAWING FOR CONSTRUCTION PURPOSES ALL DIMENSIONS TO BE CHECKED ON SITE ARCHITECT TO BE NOTIFIED OF ANY DISCREPANCIES IN DIMENSIONS ALL WORK TO CURRENT BUILDING REGULATION STANDARDS THIS DRAWING IS COPYRIGHT</small>		



2021/00439/FUL



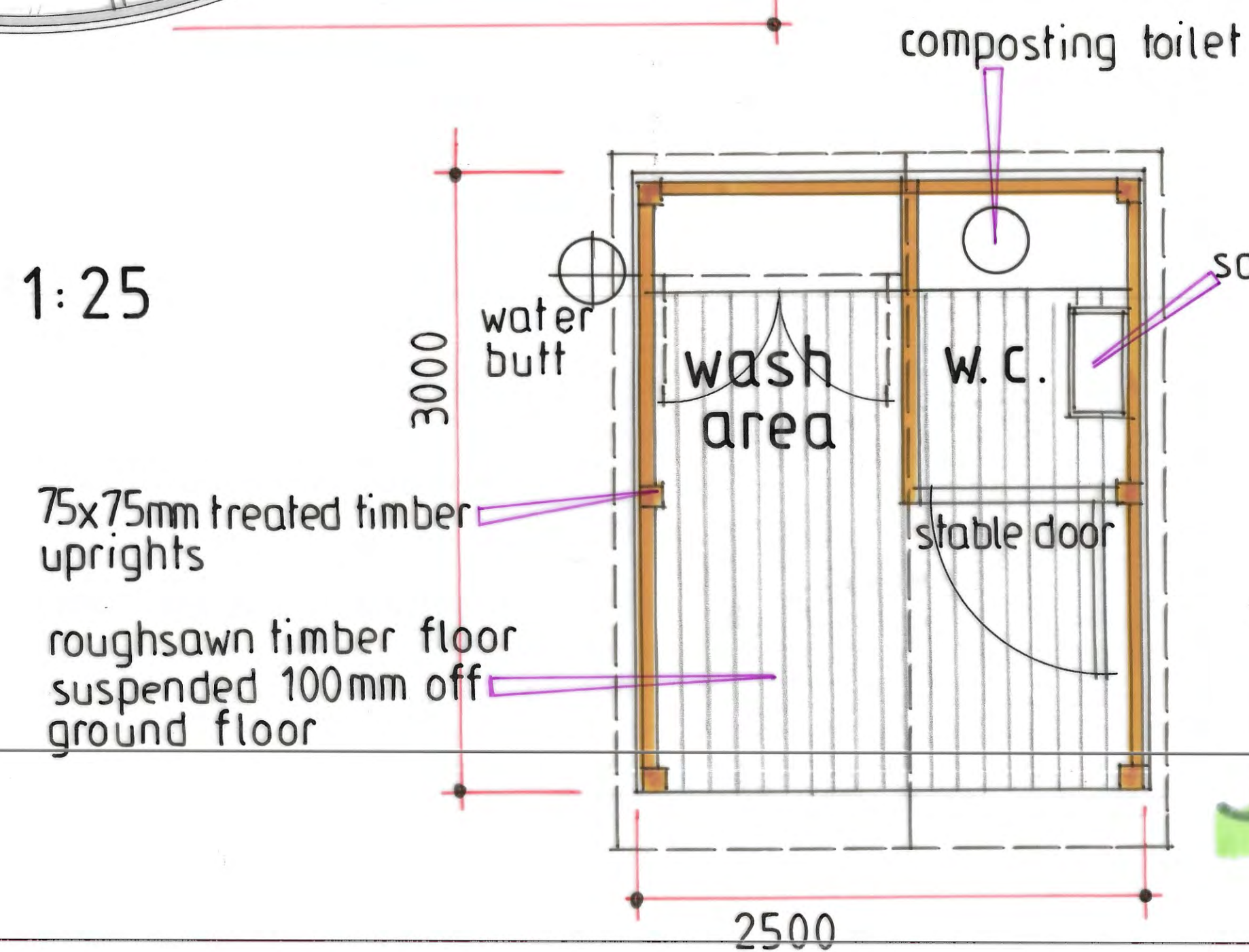
PROPOSED ELEVATION 1:25
BUILT ON HARDCORE BASE

WINDOW DETAIL N.T.S

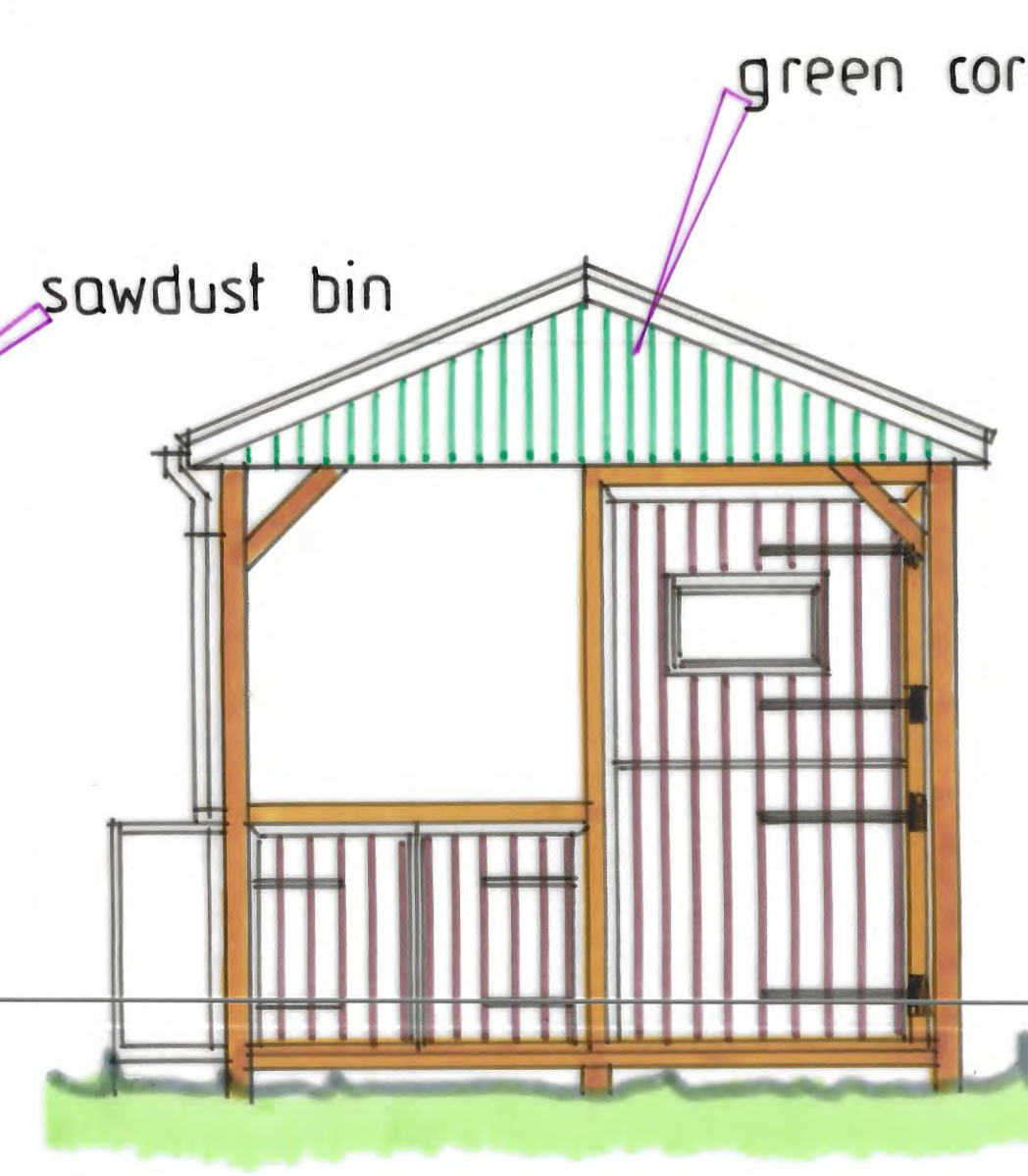
YURT PLAN 1:25



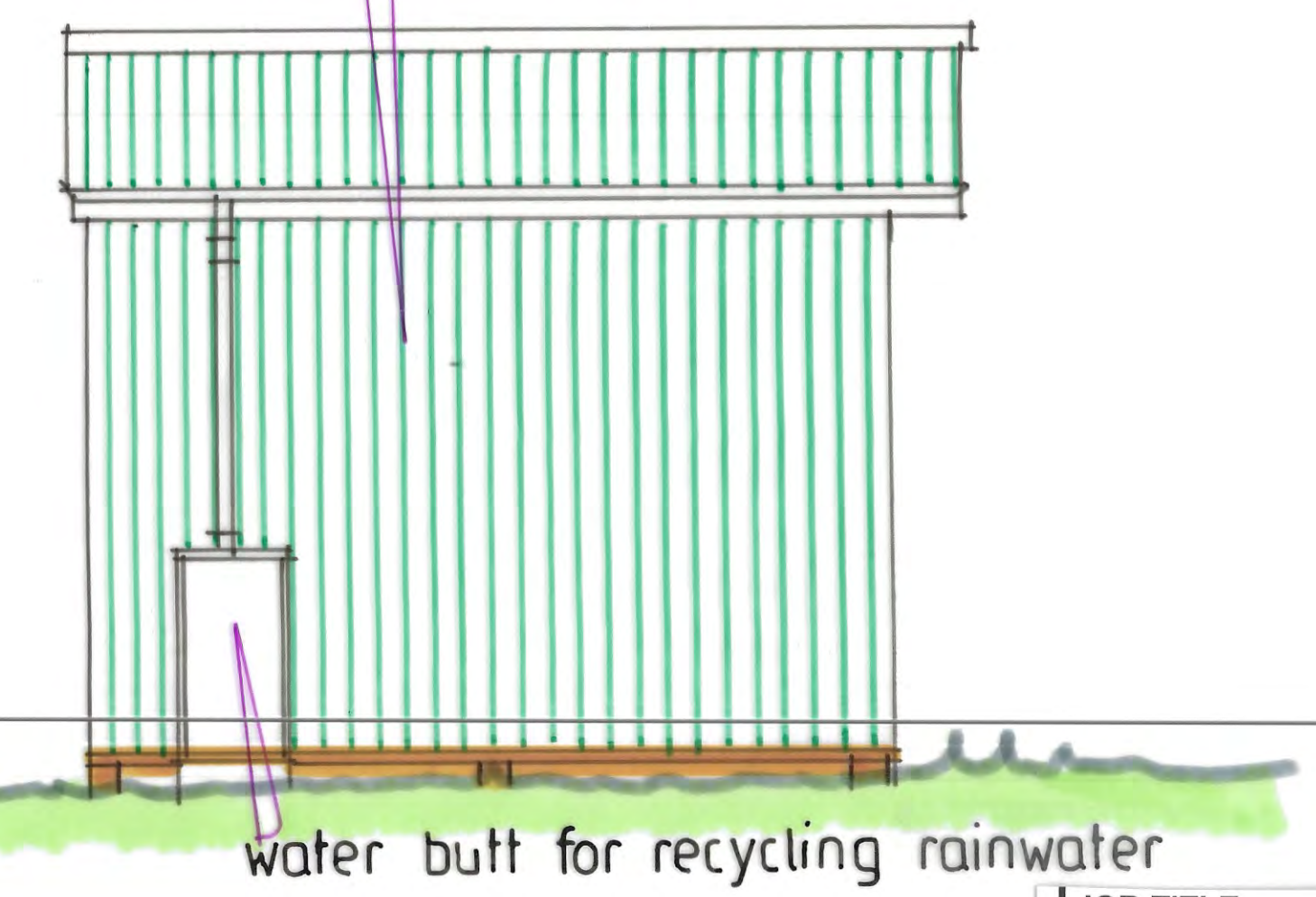
DOOR DETAIL N.T.S.



TOILET BLOCK PLAN 1:25



FRONT ELEVATION 1:25

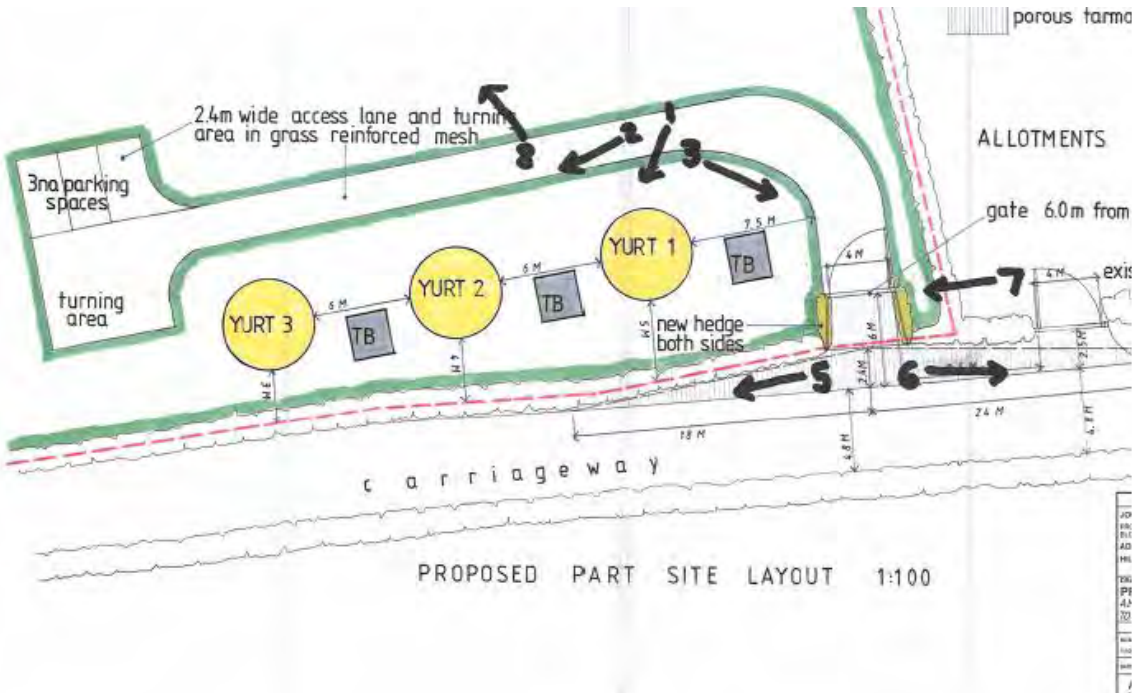


SIDE ELEVATION 1:25

JOB TITLE: PROPOSED 3 NO. YURTS AND 3 NO. TOILET/SHOWER BLOCKS INCLUDING ACCES AND PARKING AREA		
ADDRESS: HILLSIDE, PENDOYLAN, VALE OF GLAMORGAN		
DRAWING TITLE PROPOSED YURT & TOILET/SHOWER BLOCK		
SCALE AS SHOWN @ A1	DRAWN BY: PH	DRAWING NUMBER: 846/P/11
DATE: JUNE 2021		
ANDREW PARKER ASSOCIATES ARCHITECTS, LANDSCAPE AND DESIGN CONSULTANTS THE OLD FARMHOUSE, TRERHYNGYLL, COWBRIDGE CF71 7TN Mob: 07702-262516 Email: andrew@greatbarn.com		
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2021/00439/FUL- Hillside, Pendoylan

Key for Photographs



1. Looking towards site of proposed yurts



2. Looking towards site of proposed yurts



3. Looking towards proposed access from within the site



4. Looking towards proposed access from road (from the south- proposed access to the north of the existing gate into the adjacent field)



5. View of road to north from proposed access



6. View of road to south from proposed access



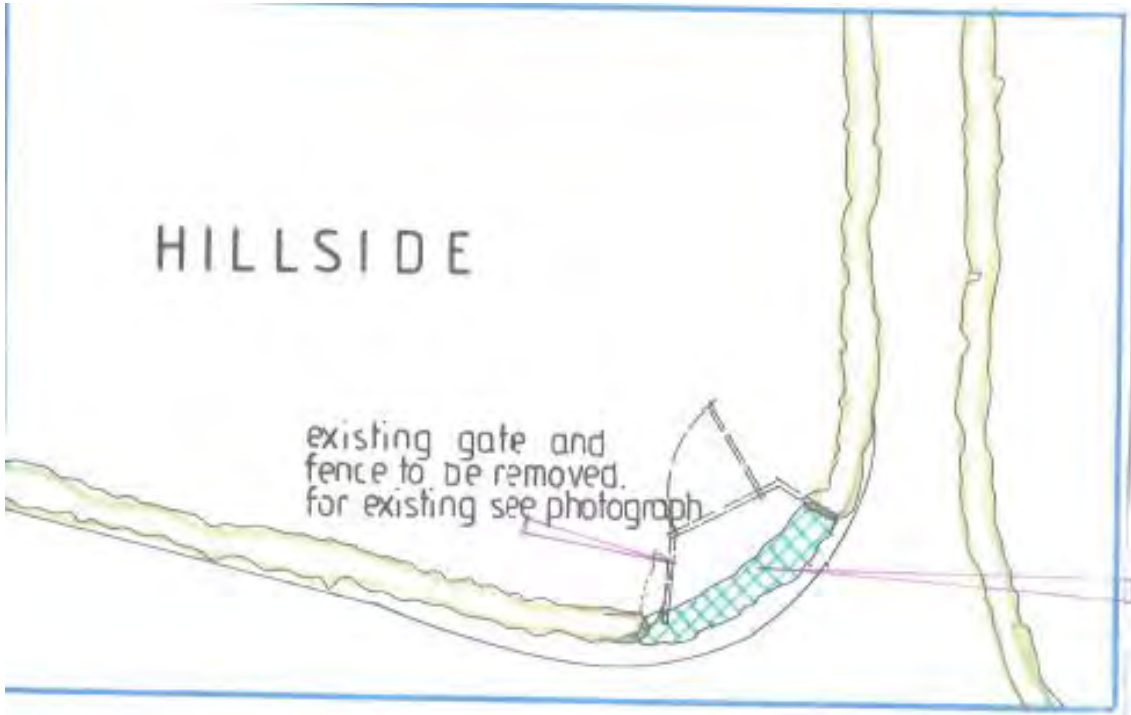
7. View across the site from the south



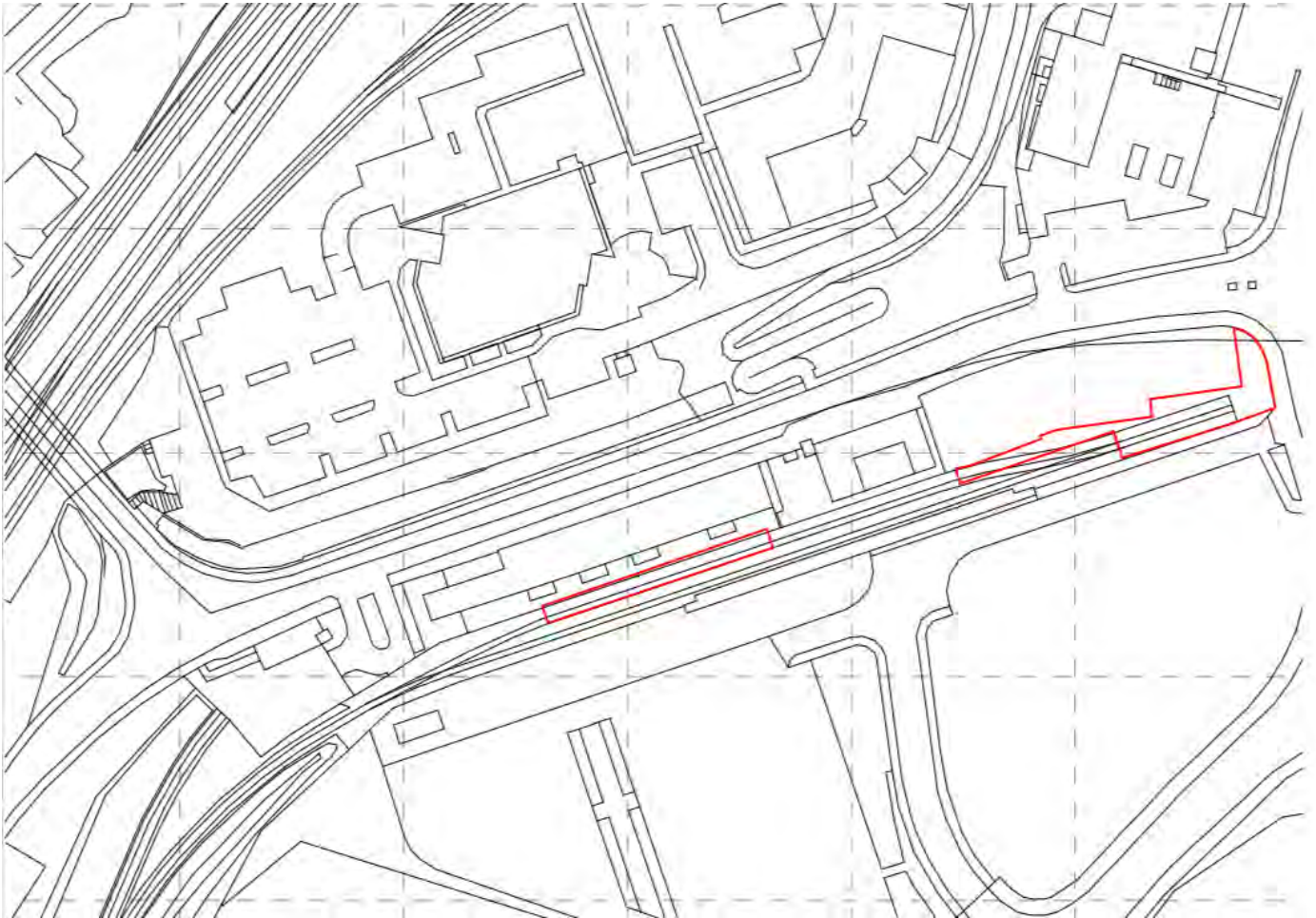
8. View across the site to the north east



9. Stopping up of Existing Access:

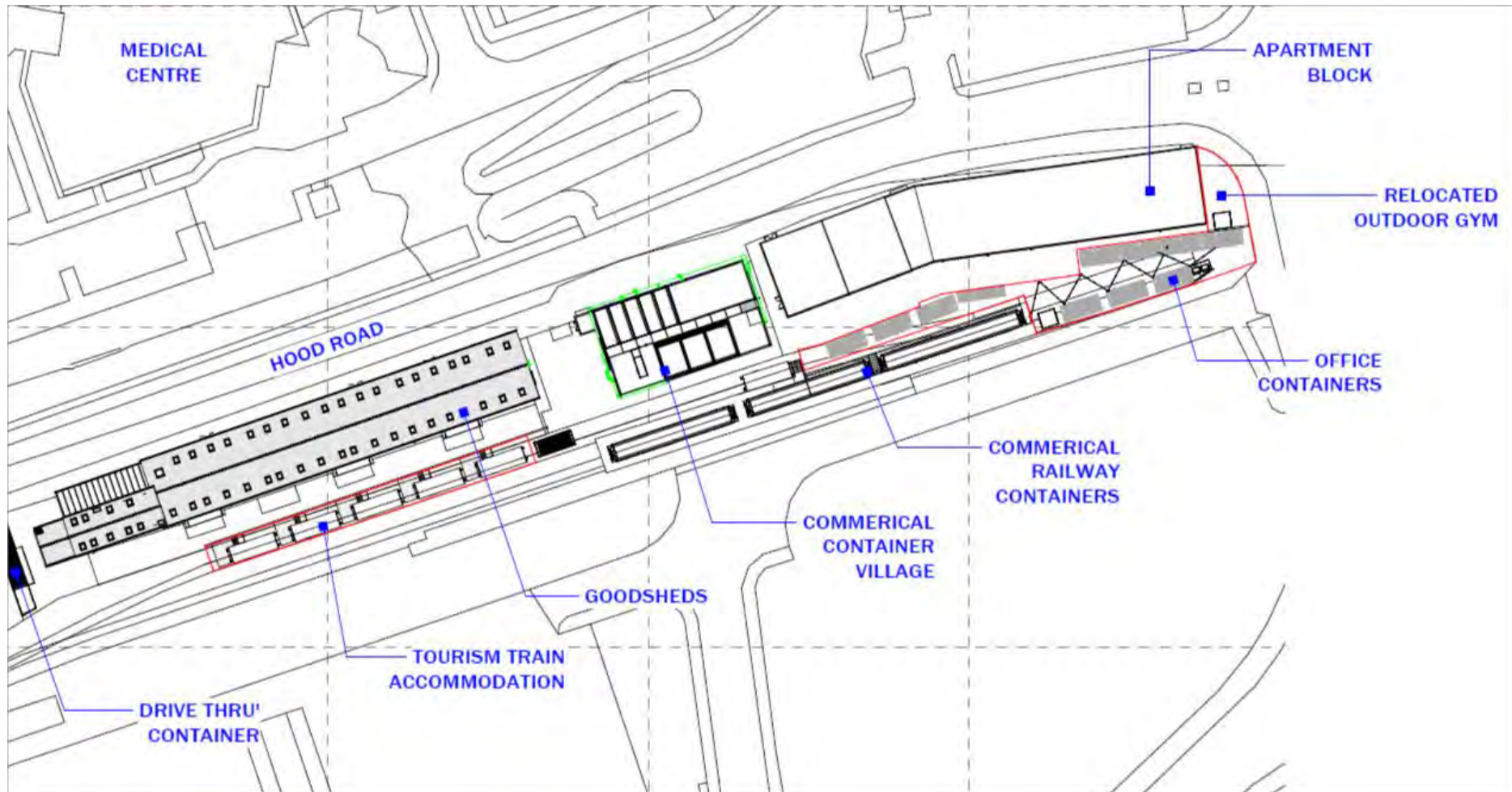


Site Location

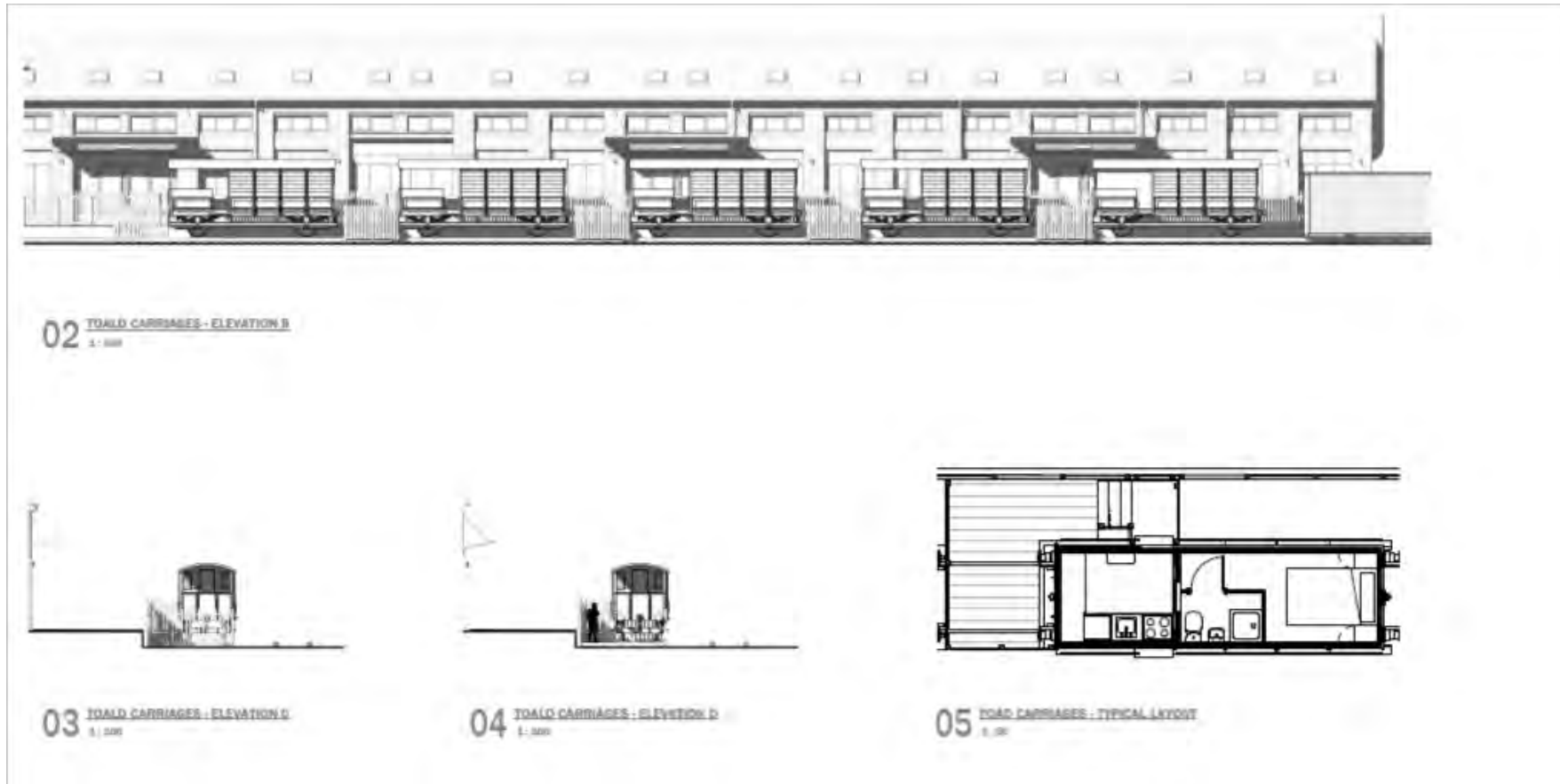


2021/01123/FUL – Land to the South and West of the Goodsheds, Hood Road, Barry

Proposed Ground Floor/ Site Layout



Proposed rail carriage elevations



Proposed elevations



Site photograph 1 – view of Junction House from Hood Road



2021/01123/FUL – Land to the South and West of the Goodsheds, Hood Road, Barry

Site photograph 2 – view toward rear of Goodsheds site from Hood Road



2021/01123/FUL – Land to the South and West of the Goodsheds, Hood Road, Barry

Site photograph 3 – view toward rear of Goodsheds site from Ffordd y Mileniwm



2021/01123/FUL – Land to the South and West of the Goodsheds, Hood Road, Barry

Site photograph 4 – view toward rear of Goodshed building from land to the south



2021/01123/FUL – Land to the South and West of the Goodsheds, Hood Road, Barry

Site photograph 5 – view toward rear of Junction House from land at the south



2021/01123/FUL – Land to the South and West of the Goodsheds, Hood Road, Barry

Site photograph 6 – view toward Goodsheds site from Hood Road



2021/01123/FUL – Land to the South and West of the Goodsheds, Hood Road, Barry

2021/01136/FUL

5, Ffordd Y Mileniwm, Barry, Vale Of Glamorgan, CF62 5BD

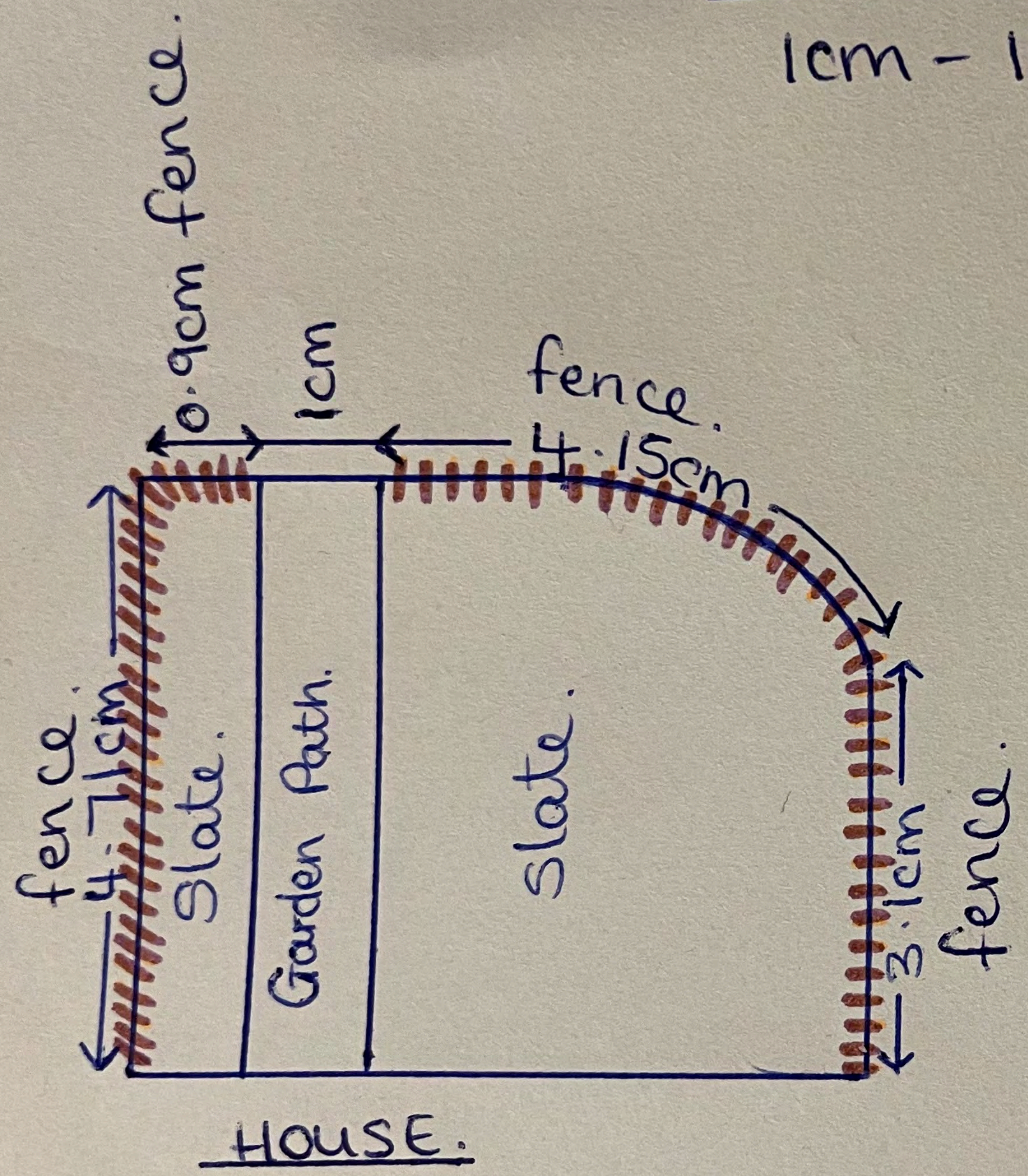


Location Plan shows area bounded by: 311028.6, 167149.39, 311170.02, 167290.81 (at a scale of 1:1250), OSGridRef: ST11096722. The representation of a road, track or path is no evidence of a right of way. The representation of features as lines is no evidence of a property boundary.

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Proposed Existing Plan.
 1cm - 100cm Scale.



I propose to put up a fence 67cm high around the boundaries of my front garden. The fence will be painted grey to coincide with the grey doors and windows within the area.

Photos for Committee – 5, Ffordd Y Mileniwm, Barry Waterfront – 2021/01136/FUL

1. The fence from the opposite side of the road.



2. The fence as seen looking eastbound along Ffordd Y Mileniwm



3. Several photos of the fence in the context of the street scene, as seen looking towards the direction of Barry Island along Ffordd Y Mileniwm.



2021/01136/FUL



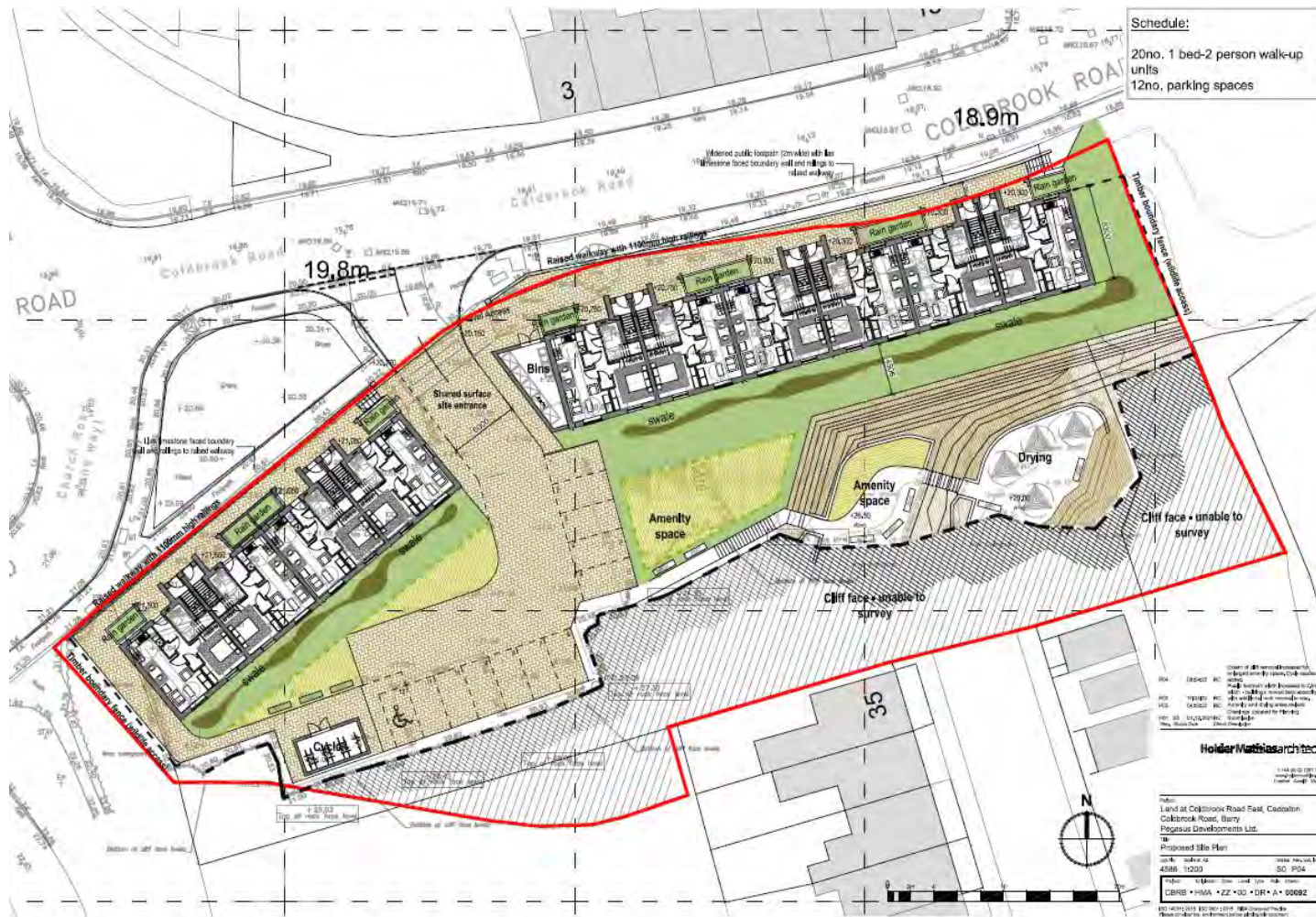


Site Location



2021/01743/FUL – Land at Coldbrook Road East, Cadoxton

Site Layout



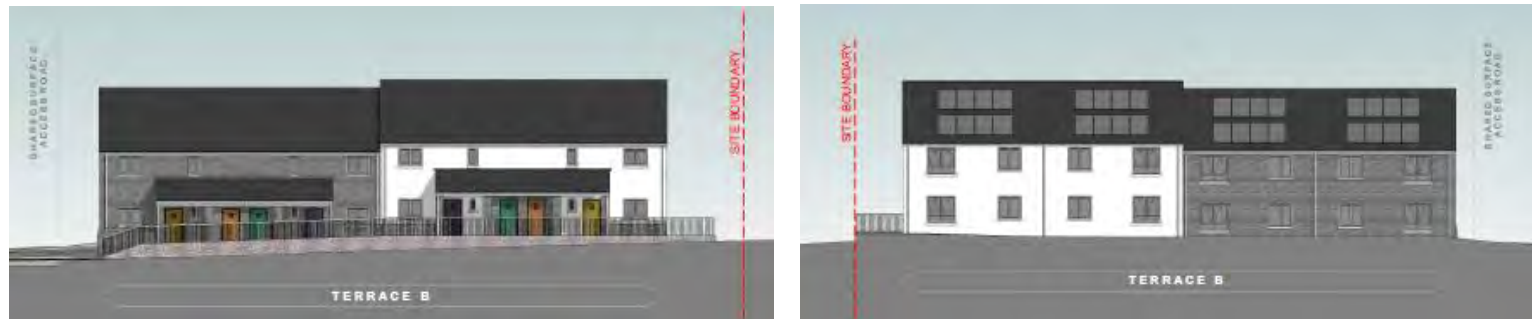
Elevations & Floorplans



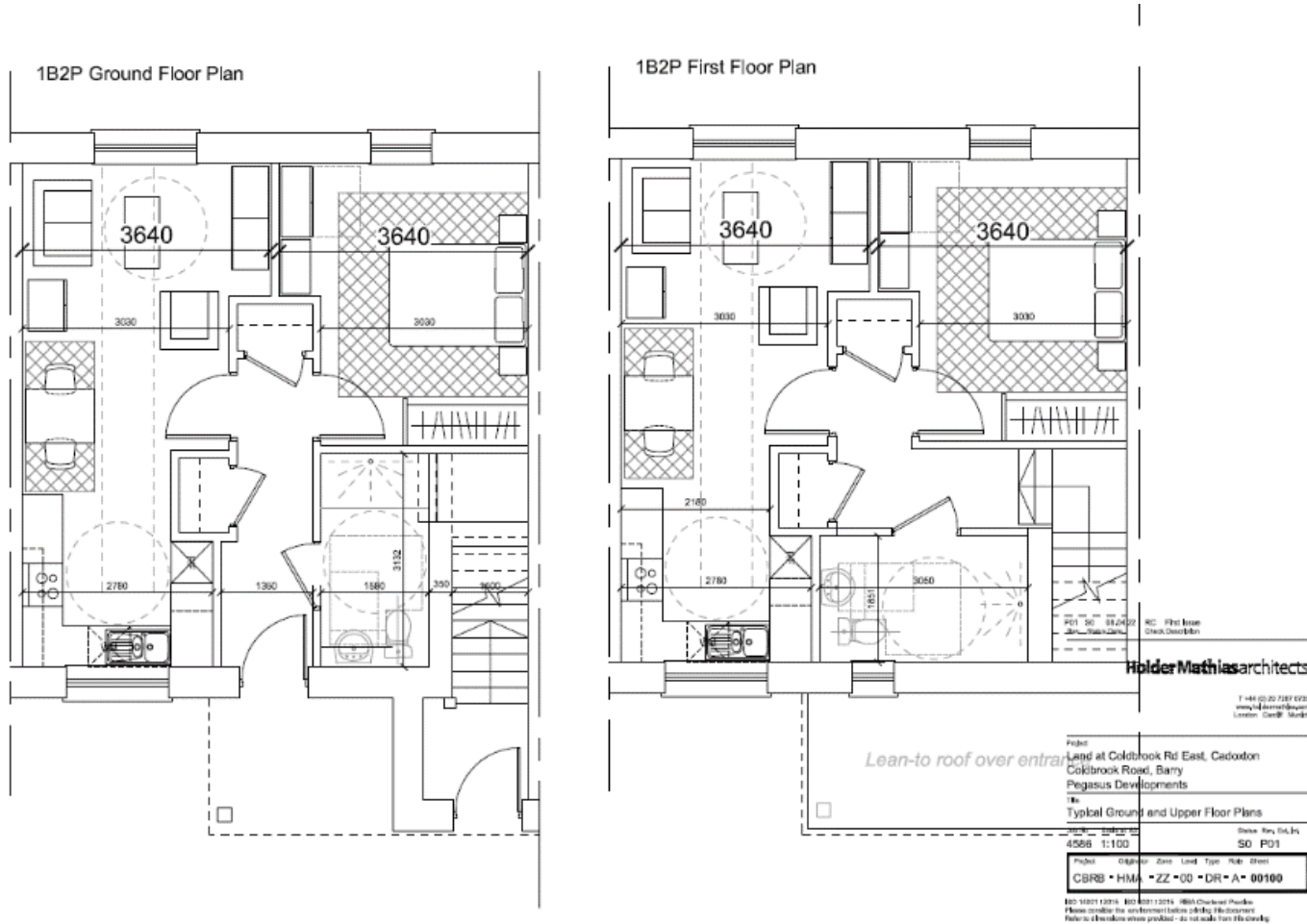
Terrace A



Terrace B



Floorplans



Site Photograph 1 - Site Access



2021/01743/FUL – Land at Coldbrook Road East, Cadoxton

Site Photograph 2 – The Site



2021/01743/FUL – Land at Coldbrook Road East, Cadoxton

Site Photograph 3 – Neighbouring Terraced Dwellings (Coldbrook Road East)



Site Photograph 4 – Neighbouring Apartment Blocks (Powis View)



Site Photograph 5 – Caxton Conservation Area to the North



2021/01743/FUL – Land at Coldbrook Road East, Cadoxton

Site Photograph 6 – Neighbouring Dwellings of Church Road

