

Revisions

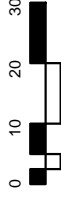
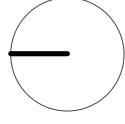
A Scale bar added

14/12/2018

2018/01408/FUL



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Site Boundary

Site Area = 5170m²
0.517ha

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Project
Aberthin Road, Cowbridge

Client
Hafod Housing

Drawing Title

Site Location Plan

Date
Nov '18

Scale
1 : 1250 @ A4

Drawing No.
3703 / PA / 001

Rev.
A

NOTES Do not scale. All dimensions are in millimetres unless stated otherwise

- Revisions
- A Cycle store relocated, footpath to plot 4 amended
 - B Landscaping amended to suit planning plan
 - C Parking & cycle storage numbers added to schedule
 - D 2000mm high brick wall & timber fence added to western side of site
 - E 2000mm high brick wall & timber fence removed to western side of site & trees added into native planting belt along western boundary
 - F 4no. of wheelchair accessible parking spaces added. Pedestrian path & gate added to north of site.
 - G Drawing updated to reflect Callbro drawing 21 March '22 BR-620-001-SK01 C
 - H New pedestrian gate/link added to north of site. Planting revised to suit.
 - I Tactile paving surface added & bus stop.
- 16 Sep '19
23 Sep '19
01 Oct '19
19 Aug '21
04 Oct '21
09 March '22
21 March '22
04 May '22
11 May '22



Boundary Key

- TYPE 01 - 1100mm high black powder coated steel railings
- TYPE 02 - 1800mm high timber close boarded fencing
- TYPE 03 - Proposed retaining wall in strict accordance with Structural Engineers specification
- TYPE 04 - 1800mm high black powder coated steel railings
- TYPE 05 - 450mm high facing brick wall
- TYPE 06 - 1100mm high black powder coated steel railings above existing stone boundary wall and between existing / new stone piers
- TYPE 07 - 2000mm high timber close boarded fencing
- TYPE 08 - 2000mm high facing brick wall

Landscape Key

- A Grass / turfed areas
- B Permeable concrete block pavours
- C Fine grade tarmac
- 450 x 450mm pre-cast concrete paving slabs
- Existing trees to be retained. Dashed line indicates root protection zones in accordance with Callbro Category A & B Trees
- Existing trees to be removed
- New tree creations in accordance with Landscape Architects design & specification
- New local vegetation in accordance with Landscape Architects design & specification
- 2.6m x 4.8m parking space

General Key

- Plot number
- Timber garden shed (suitable for bike storage)
- 3-arm rotary clothes line
- Site Boundary - Condition of fence to be assessed and replaced with 1800mm high close boarded timber fence if needed.

NOTES

Site plan developed using detailed survey prepared by ALT Surveys ref: "156073A / 156074A" dated 5th November 2018.

Plans are subject to increased planning conditions and thorough drainage engineering. Position of existing and proposed drainage runs to be confirmed following further investigation.

Position of any existing underground services to be confirmed following further investigation.

Refer to engineer's proposals for details of upgrading works to existing highway, A1, within new development and for proposed site works and drainage details.

Refer to landscape architect's proposal for details of soft landscaping. Ownership of all boundaries to be confirmed by client.

SCHEDULE OF ACCOMMODATION

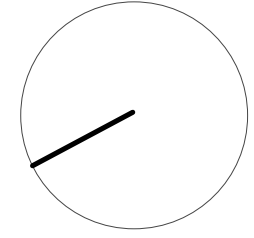
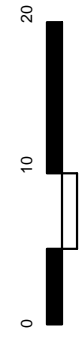
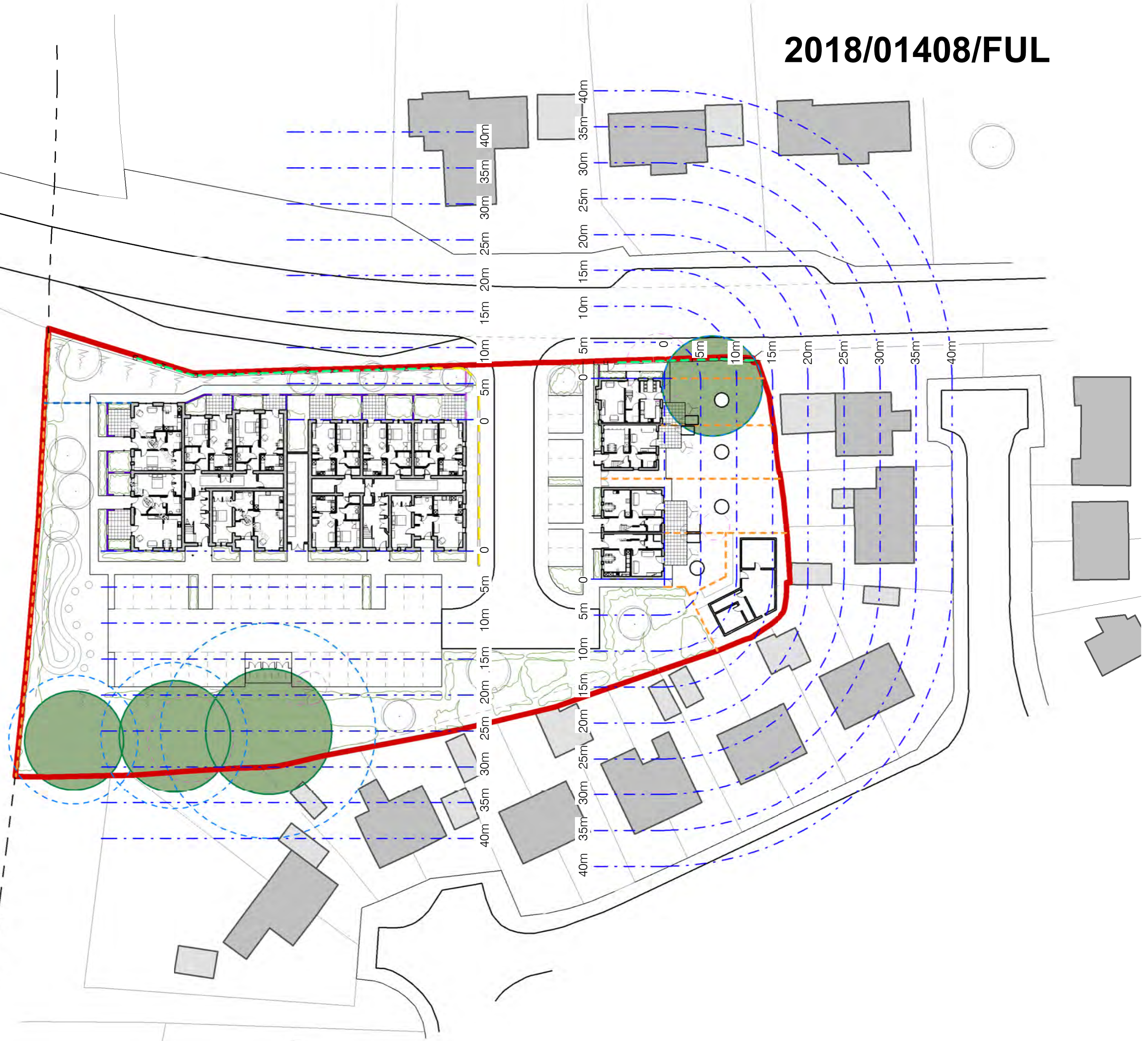
4 no. 1BSP wheelchair accessible apartments
4 no. 2BSP apartments
2 no. 2B4P apartments
2 no. 1B3P apartments
Total = 30 apartments
4 no. houses (1 x 4B9P, 1 x 2B4P and 2 x 3B5P)
Total = 34 units
Car parking spaces: 38no. total (30no. apartments & 8no. houses)
Communal cycle storage: 18no. spaces total (12no. external & 6no. internal)

2018/01408/FUL

Revisions

A Landscaping amended to suit planting plan 23 Sep '19

2018/01408/FUL



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Client
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Drawing Title

Overlooking Distances

NOTES Do not scale. All dimensions are in millimetres unless stated otherwise

Date
Aug '19

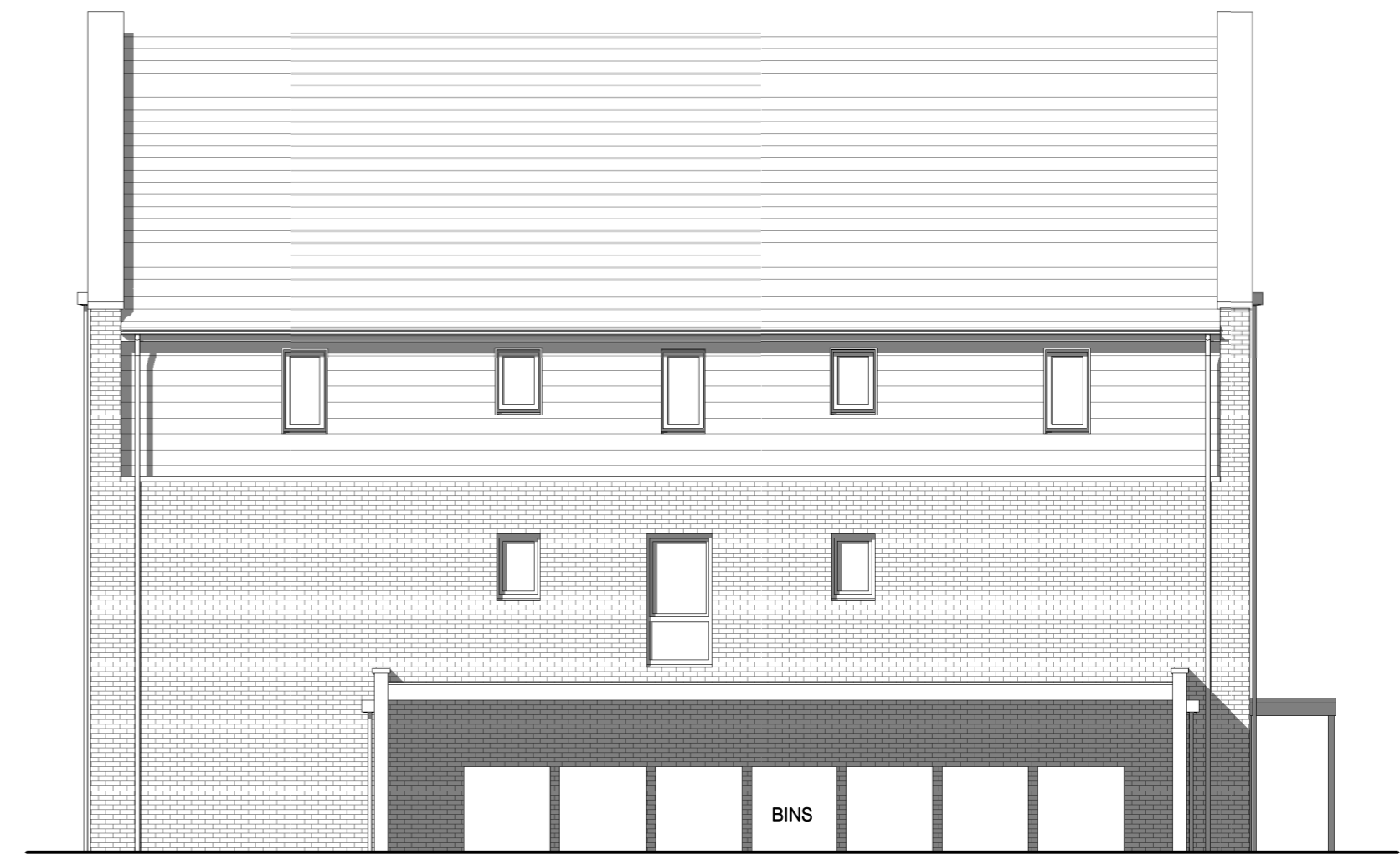
Scale
1 : 500 @ A3

Drawing No.
3703 / PA / 211

Rev.
A



Front Elevation

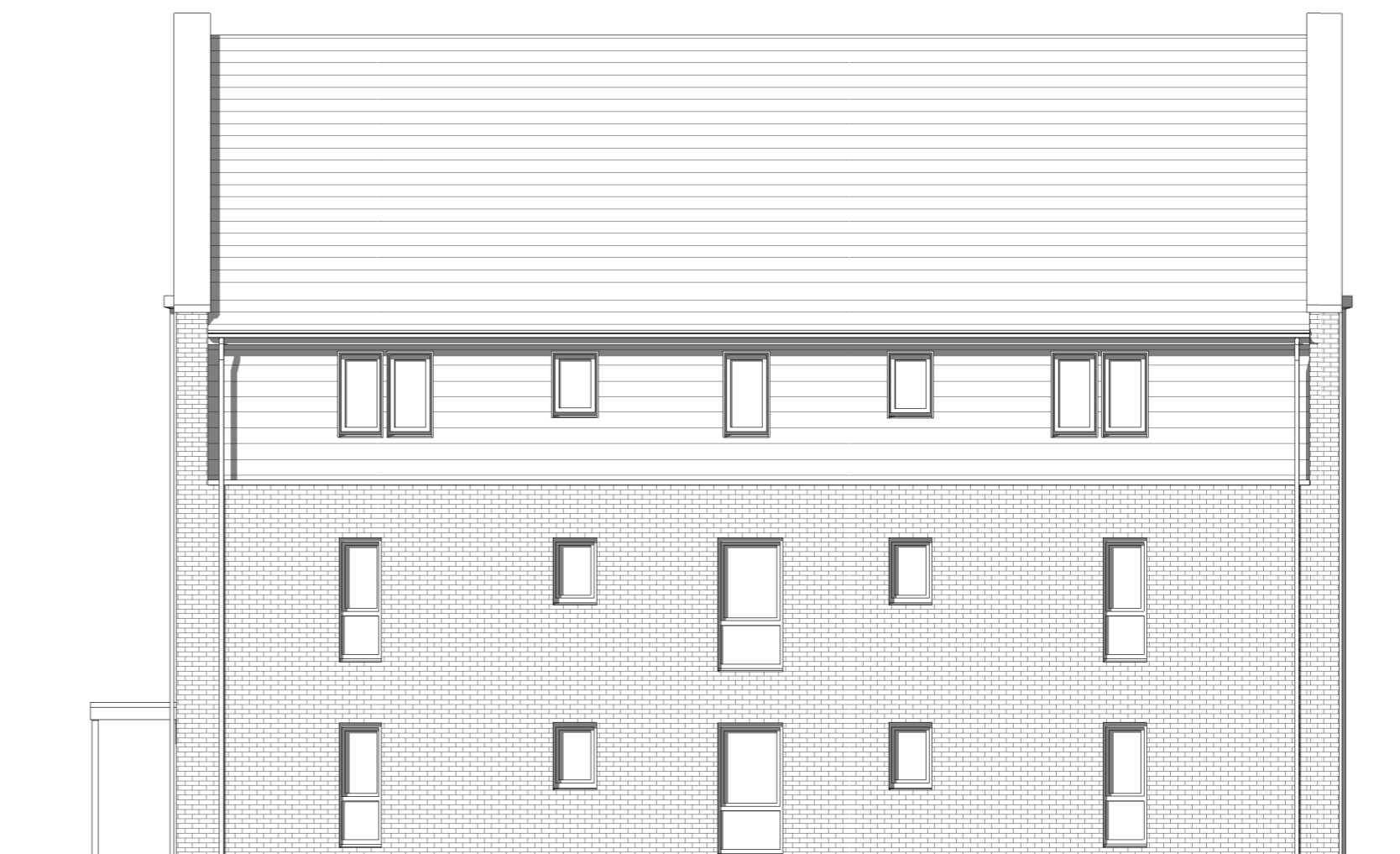


Side Elevation- North

2018/01408/FUL



Rear Elevation



Side Elevation - South

Notes:

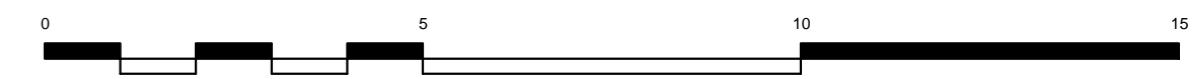
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Service penetrations: Service extract terminals and flues are to be rectangular, flush and colour matched to surrounding brick/slate. All locations are to be confirmed by M&E consultant, architect and approved by LPA.



Elevation Material Key

Walls	Type 01-	Grey, stock, light textured facing brickwork with neutral mortar
Stonework		Stone or reconstituted facing stonework
Tile Hanging		Fibre cement slate tile hanging. Colour Blue/Grey. On top continuous stone cill & Aluminium powder coated window formers
		Stone coping system to all parapet walls

Windows and Doors	Window	Double glazed, PVCu, Pebble Grey- RAL 7032
	Doors	Composite GRP units, Pebble Grey- RAL 7032
	Cill	Powder-coated aluminium, RAL 7036

Roof	Pitched Roof	Fibre cement slate tiles. Colour- Blue/Grey
	Flat Roof Over Central Mansard Section	Single-ply membrane. Colour Lead Grey
	Entrance Canopy	Composite GRP, RAL 7036, timber posts
	Fascias & Soffits	Power coated aluminium, RAL 7036
	Gutters & Downpipes & Hoppers	Powder coated aluminum circular downpipes & deep flow, half round gutters.

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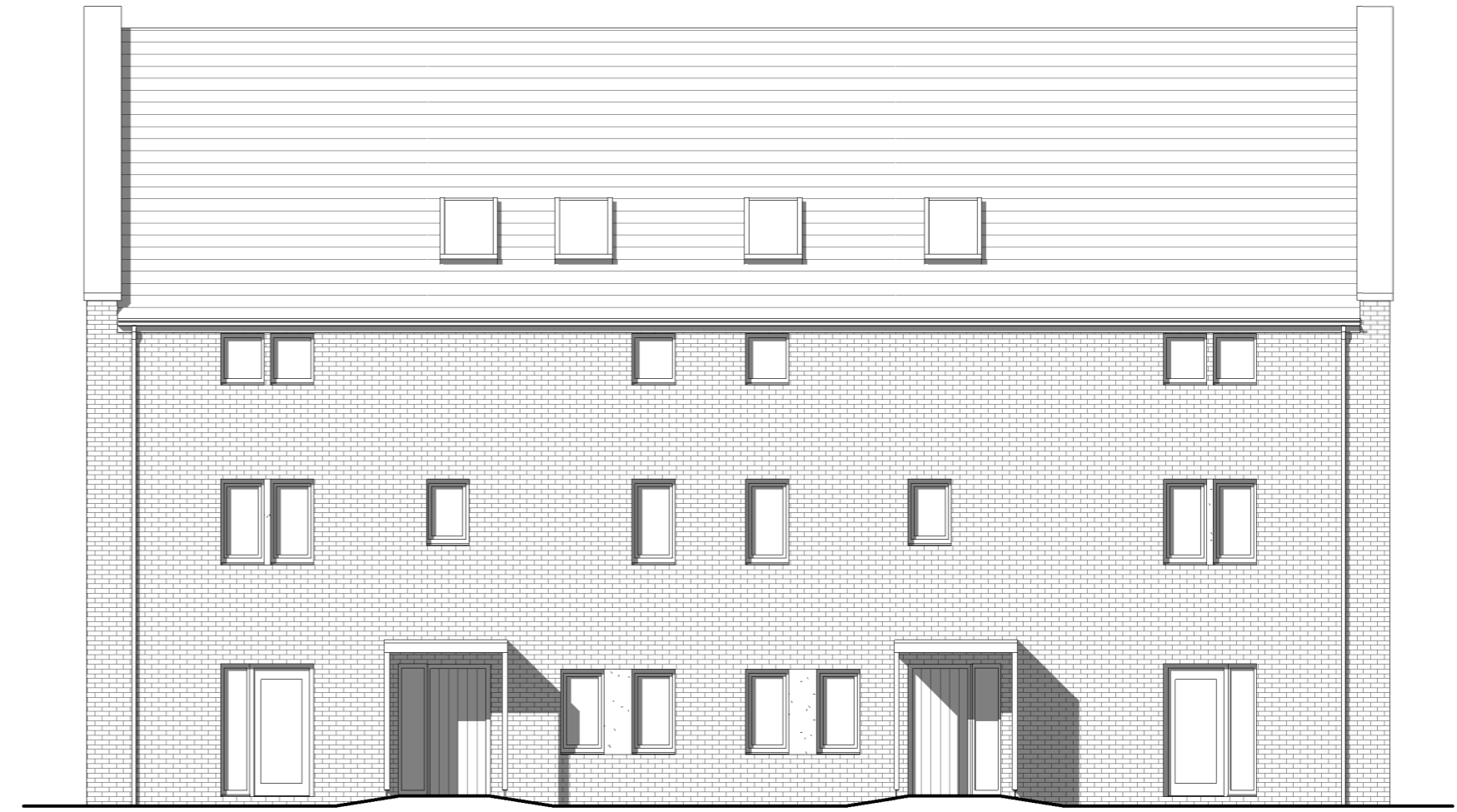
t: 029 2030 9010
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Project	Aberthin Road, Cowbridge	Date	Aug 19'
Client	Hafod Housing	Scale	1 : 100 @ A2
Drawing Title	Apartment Block A - Proposed Elevations	Drawing No.	3703 / PA / 216
		Rev.	A

NOTES Do not scale. All dimensions are in millimetres unless stated otherwise



Front Elevation

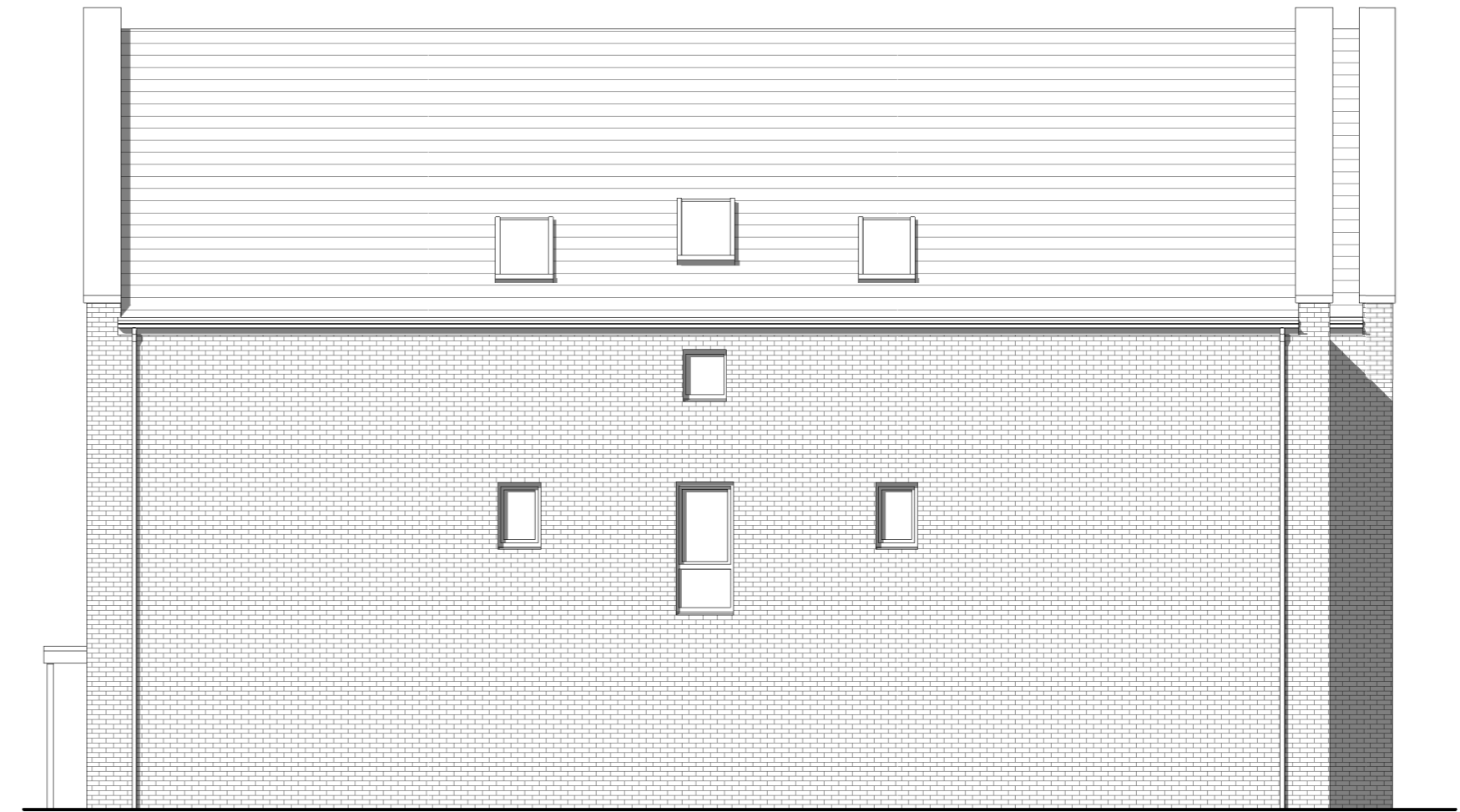


Side Elevation - North

2018/01408/FUL



Rear Elevation



Side Elevation - South

Elevation Material Key

Walls	Windows and Doors	Roof
Brickwork Type 02- Cream buff, stock, light textured facing brickwork with neutral mortar	Window Double glazed, PVCu, Pebble Grey- RAL 7032	Pitched Roof Fibre cement slate tiles. Colour- Blue/Grey
Stonework Stone or reconstituted facing stonework	Doors Composite GRP units, Pebble Grey- RAL 7032	Flat Roof Over Central Mansard Section Single-ply membrane. Colour Lead Grey
Stone coping system to all parapet walls	Cill Powder-coated aluminium, RAL 7036	Entrance Canopy Composite GRP, RAL 7036, timber posts
		Fascias & Soffits Power coated aluminium, RAL 7036
		Gutters & Downpipes & Hoppers Powder coated aluminum circular downpipes & deep flow, half round gutters

Notes:

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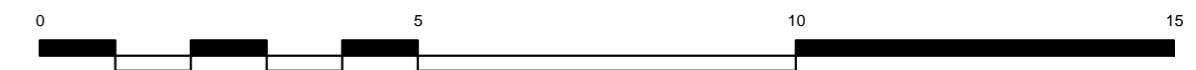
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Project
Aberthin Road, Cowbridge

Client
Hafod Housing

Drawing Title

Apartment Block B - Elevations

Date
Aug 19'

Scale
1 : 100 @ A2

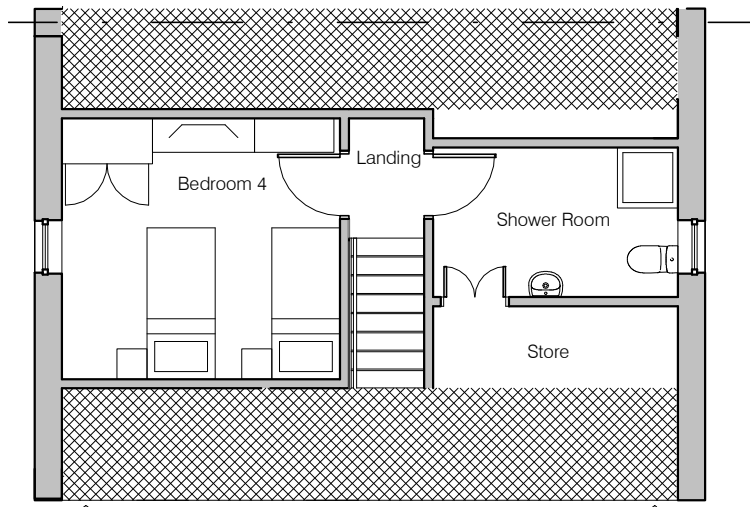
Drawing No.
3703 / PA / 221

Rev.
A

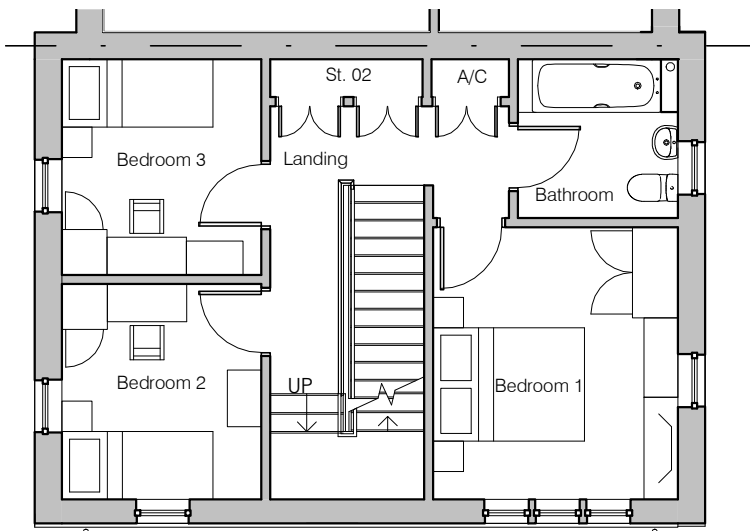
NOTES Do not scale. All dimensions are in millimetres unless stated otherwise

Revisions

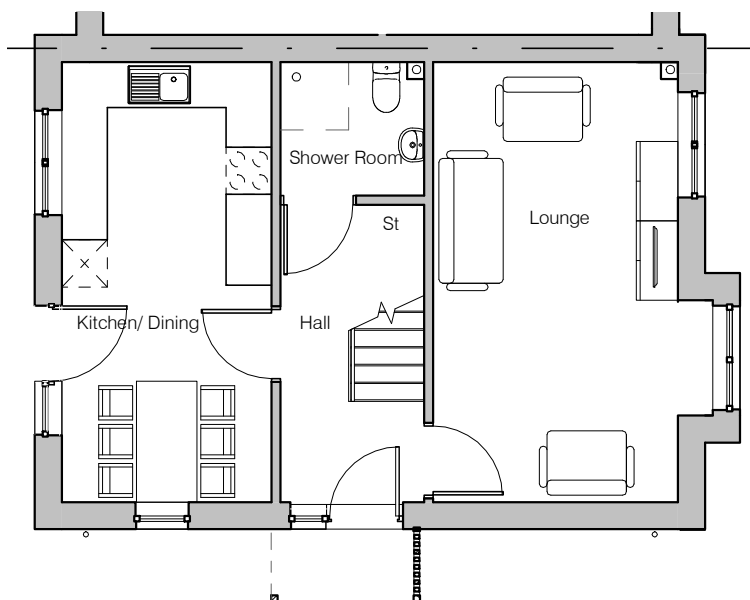
A Elevation material key revised & notes added 24 Sep '19



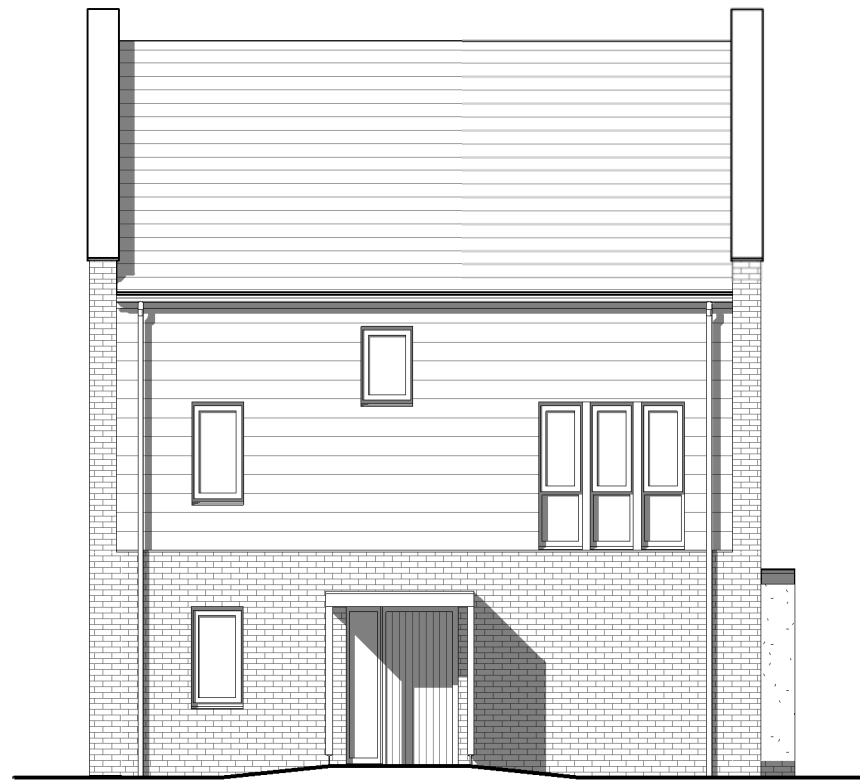
Second Floor Plan



First Floor Plan



Ground Floor Plan



Front Elevation



Side Elevation 2



Side Elevation 1

2018/01408/FUL

Elevation Material Key

Wall		
Brickwork	Type 01-	Grey, stock, light textured facing brickwork with neutral mortar
Stonework		Stone or reconstituted facing stonework
		Stone coping to all parapet walls
Tile Hanging		Fibre cement slate tile hanging. Colour Blue/Grey. On top continuous stone cill & Aluminium powder coated window formers
Windows and Doors		
Window & Rear doors		Double glazed, PVCu, Pebble Grey- RAL 7032
Front Doors		Composite GRP units, Pebble Grey- RAL 7032
Cills		Powder-coated aluminium, RAL 7036
Roof		
Pitched Roof		Fibre cement slate tiles. Colour- Blue/Grey
Entrance Canopy		Composite GRP, RAL 7036, timber posts
Fascias & Soffits		Power coated aluminium, RAL 7036
Gutters & Downpipes & Hoppers		Powder coated aluminum circular downpipes & deep flow, half round gutters.

Notes:

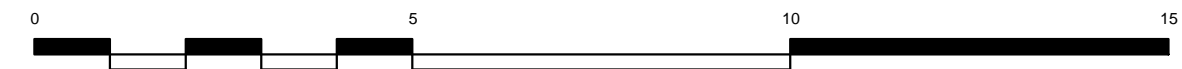
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Project
Aberthin Road

Client
Hafod Resources

Drawing Title

4B6P House Plans & Elevations

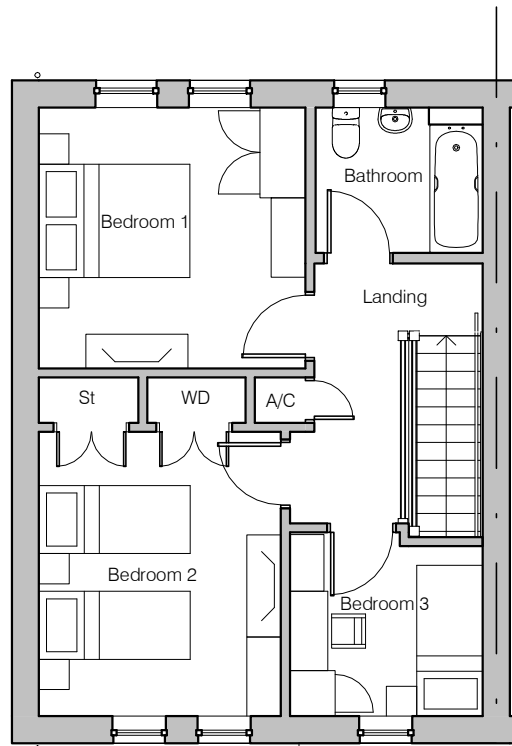
Date
AUG '19

Scale
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Drawing No.
3703 / PA / 225

Rev.
A

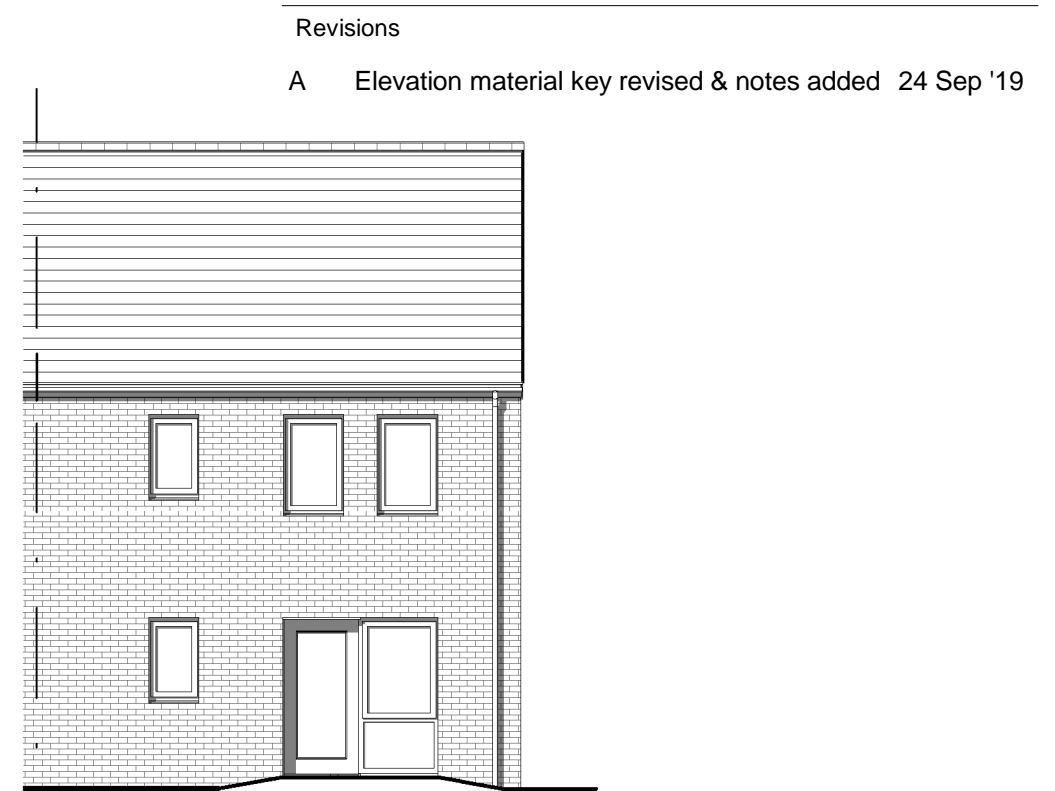
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First Floor Plan



Front Elevation

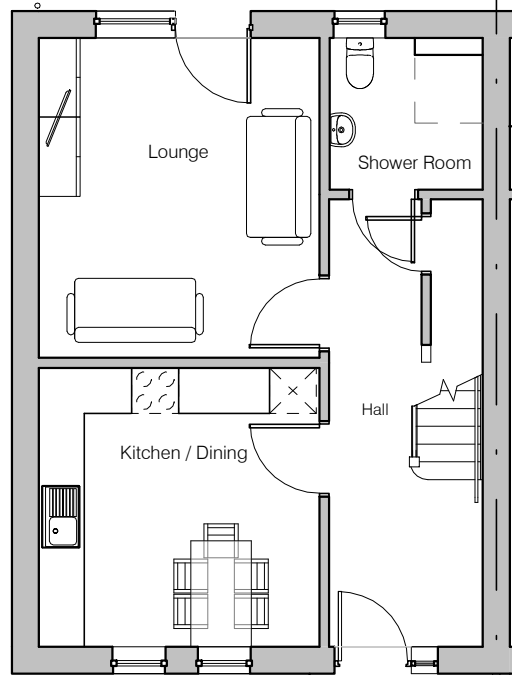


Rear Elevation

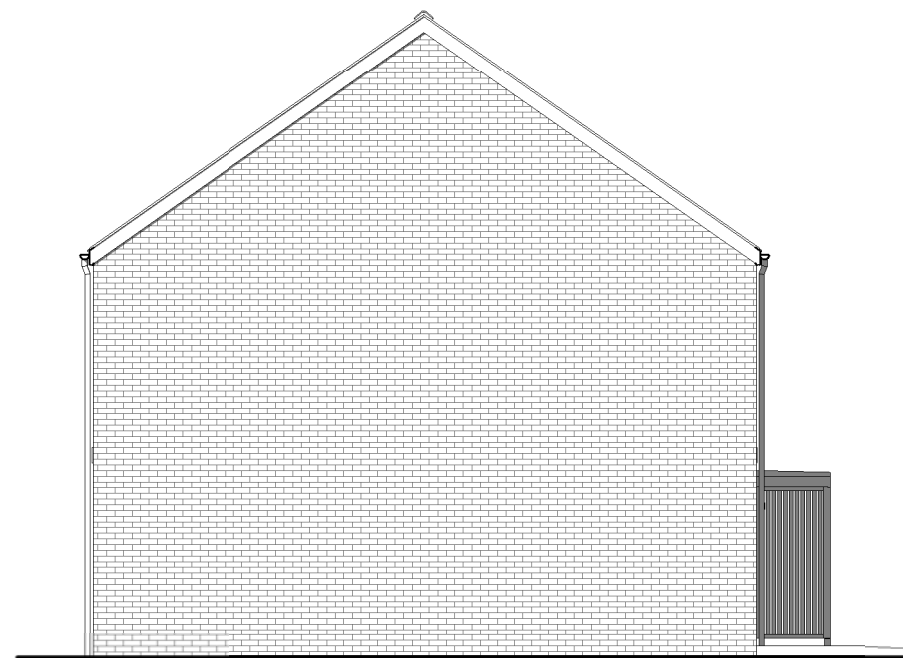
Revisions

A Elevation material key revised & notes added 24 Sep '19

2018/01408/FUL



Ground Floor Plan



Side Elevation

Elevation Material Key

Wall

Brickwork Type 01- Grey, stock, light textured facing brickwork with neutral mortar

Stonework Stone or reconstituted facing stonework

Aluminium coping system to all parapet walls, RAL 7036

Windows and Doors

Window & Rear doors Double glazed, PVCu, Pebble Grey- RAL 7032

Front Doors Composite GRP units, Pebble Grey- RAL 7032

Cills Powder-coated aluminium, RAL 7036

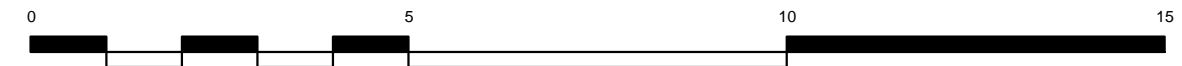
Roof

Pitched Roof Fibre cement slate tiles. Colour- Blue/Grey

Entrance Canopy Composite GRP, RAL 7036, timber posts

Fascias & Soffits Power coated aluminium, RAL 7036

Gutters & Downpipes & Hoppers Powder coated aluminum circular downpipes & deep flow, half round gutters.



Notes:

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Project
Aberthin Road, Cowbridge

Client
Hafod Resources

Drawing Title

3B5P House Plans & Elevations

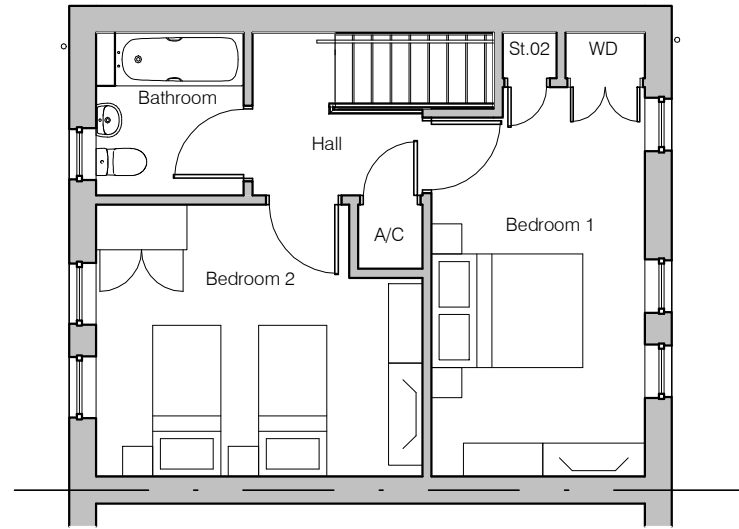
Date
AUG '19

Scale
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Drawing No.
3703 / PA / 226

Rev.
A

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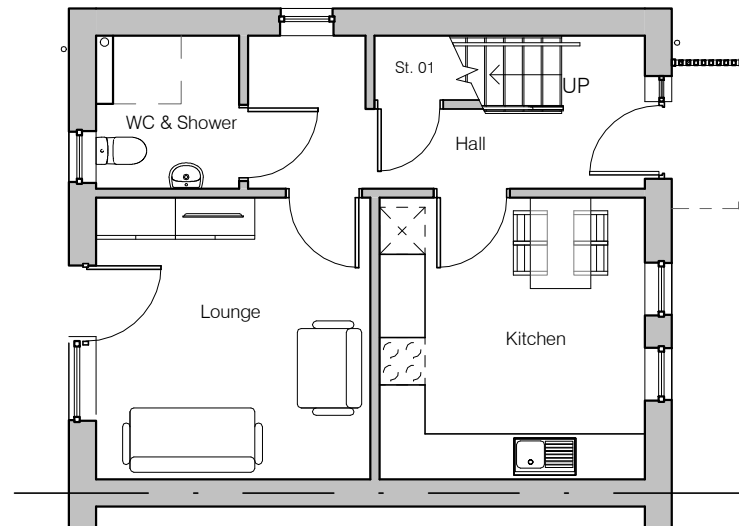
First Floor Plan



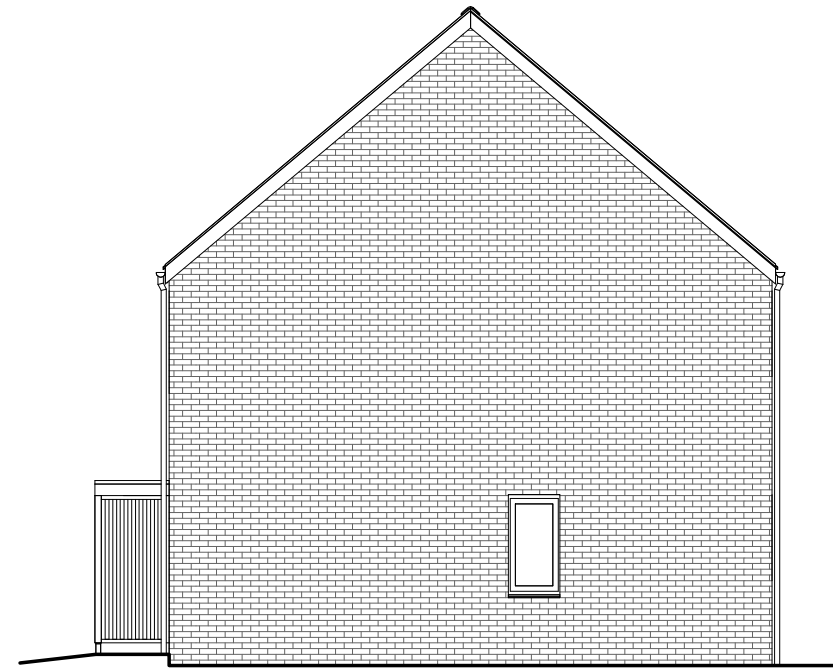
Front Elevation



Rear Elevation



Ground Floor Plan



Side Elevation

Elevation Material Key

Wall

Brickwork Type 01- Grey, stock, light textured facing brickwork with neutral mortar

Stonework Stone or reconstituted facing stonework

Aluminium coping system to all parapet walls, RAL 7036

Windows and Doors

Window & Rear doors Double glazed, PVCu, Pebble Grey- RAL 7032

Front Doors Composite GRP units, Pebble Grey- RAL 7032

Cills Powder-coated aluminium, RAL 7036

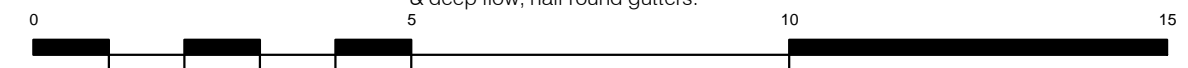
Roof

Pitched Roof Fibre cement slate tiles. Colour- Blue/Grey

Entrance Canopy Composite GRP, RAL 7036, timber posts

Fascias & Soffits Power coated aluminium, RAL 7036

Gutters & Downpipes & Hoppers Powder coated aluminum circular downpipes & deep flow, half round gutters.



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Project
Aberthin Road, Cowbridge

Client
Hafod Resources

Drawing Title

2B4P House Floor Plans & Elevations

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Date
AUG '19

Scale
1 : 100 @ A3

Drawing No.
3703 / PA / 227

Rev.
A



Street Elevation From Ground Floor Level

2018/01408/FUL



Street Elevation From Ground Floor Level

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Project
Aberthin Road, Cowbridge
Client
Hafod Housing

Drawing Title
Proposed Street Elevations:
Coloured

Date
SEP '19
Scale
NTS

Drawing No.
3703-PA-240
Rev.
-

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Rear Elevation From Ground Floor Level

2018/01408/FUL



Front Elevation of Houses

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Project
Aberthin Road, Cowbridge

Client
Hafod Housing

Drawing Title
**Proposed Rear Apartments & Houses
Steetscene: Coloured**

Date
SEP '19

Scale
NTS

Drawing No.
3703-PA-241

Rev.
-

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View from Aberthin Road looking North towards flyover



View from Aberthin Road looking South- West



South-east facing elevations of the south-west end of the school building



South-east facing elevations of the north-east end of the school building



Facing gable on the south-east elevation.



North-west facing elevation of the 1896 part of the building.



South-west facing elevation of the school building



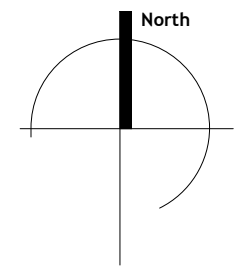
Rear of site - two remaining 1950s buildings and the stone wall remnant of the older outbuilding



Aerial Photo of site

Revisions

A	Minor amendments	PC	27.04.21
B	Redline amended	PC	25.11.21



2021/00622/FUL

01 **SITE LOCATION PLAN**
1 : 1250

Notes

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**CHAMBERLAIN
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architecture

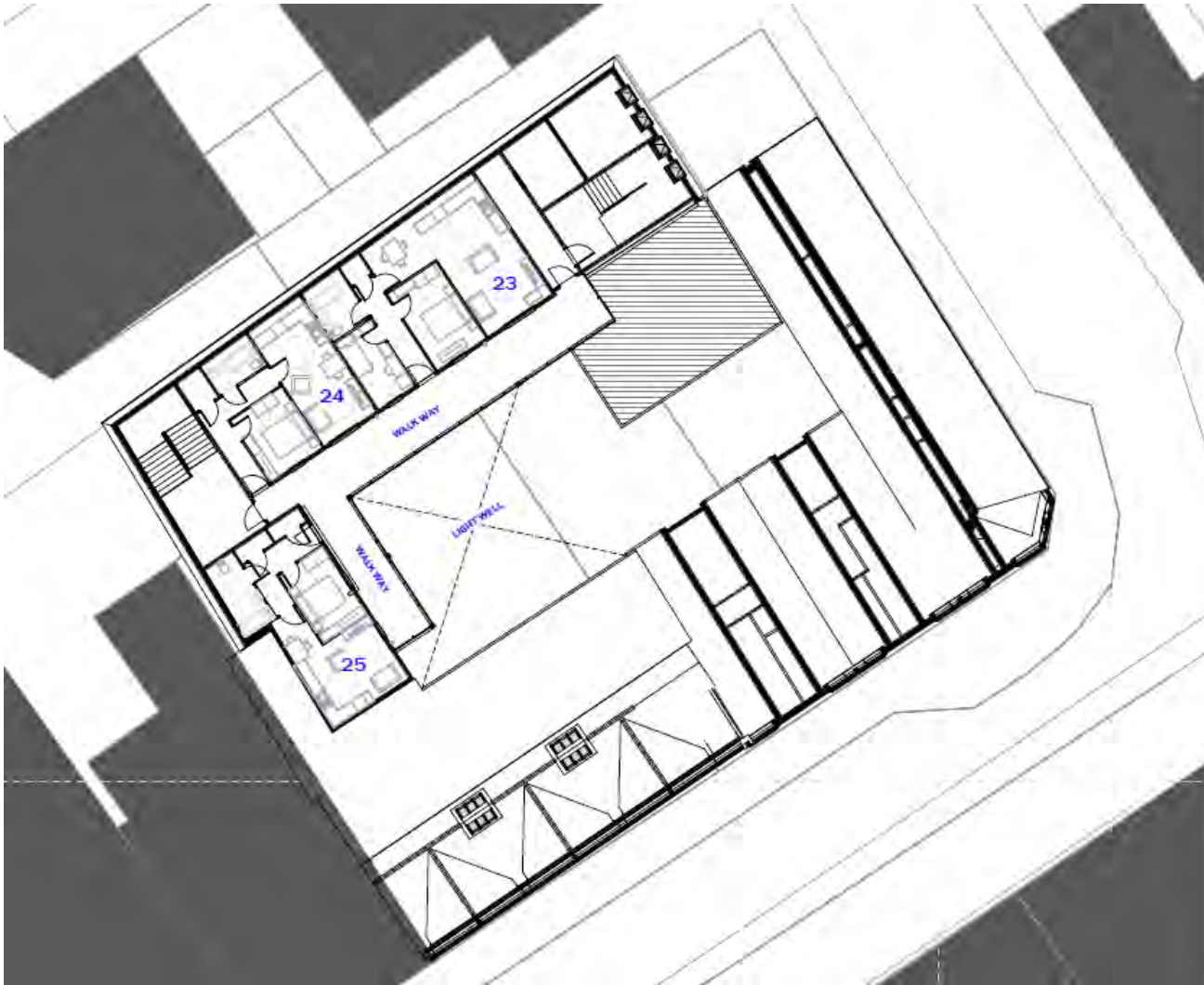
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Vale of Glamorgan | CF64 1EE
T. 02920 306400
chamberlainkingmoss.co.uk

Project	HOLTON ROAD, BARRY
Project number	N309
Client	KESTRAL CONSTRUCTION LTD
Title	SITE LOCATION PLAN
Drawing number	A100
Scale	1 : 1250 at A3
Revision	B
Status	PLANNING
Drawn	PC
Date	27.04.21

Proposed first floor plan



Proposed third floor plan



Existing and proposed elevations



Site photograph 1 – view from alley way (side and rear elevations)



2021/00622/FUL – 81 – 85 Holton Road, Barry

Site photograph 2 – view of side elevation from Newlands Street



Site photograph 3 – view of side elevation from Newlands Street



Site photograph 4 – view of Newlands Street



2021/00622/FUL – 81 – 85 Holton Road, Barry

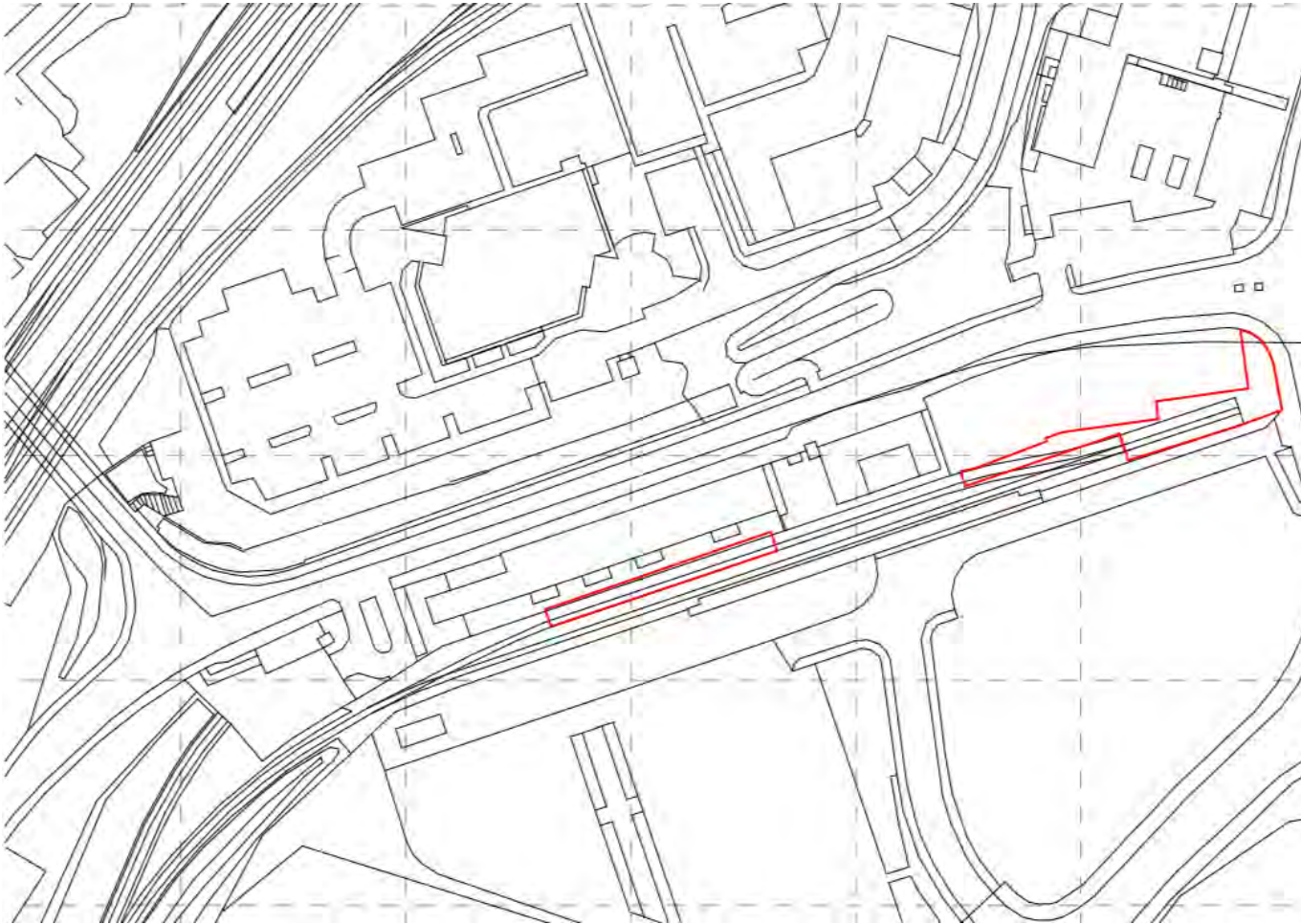
Site photograph 5 – front of building (Holton Road)



Site photograph 6 – front of building (Holton Road)

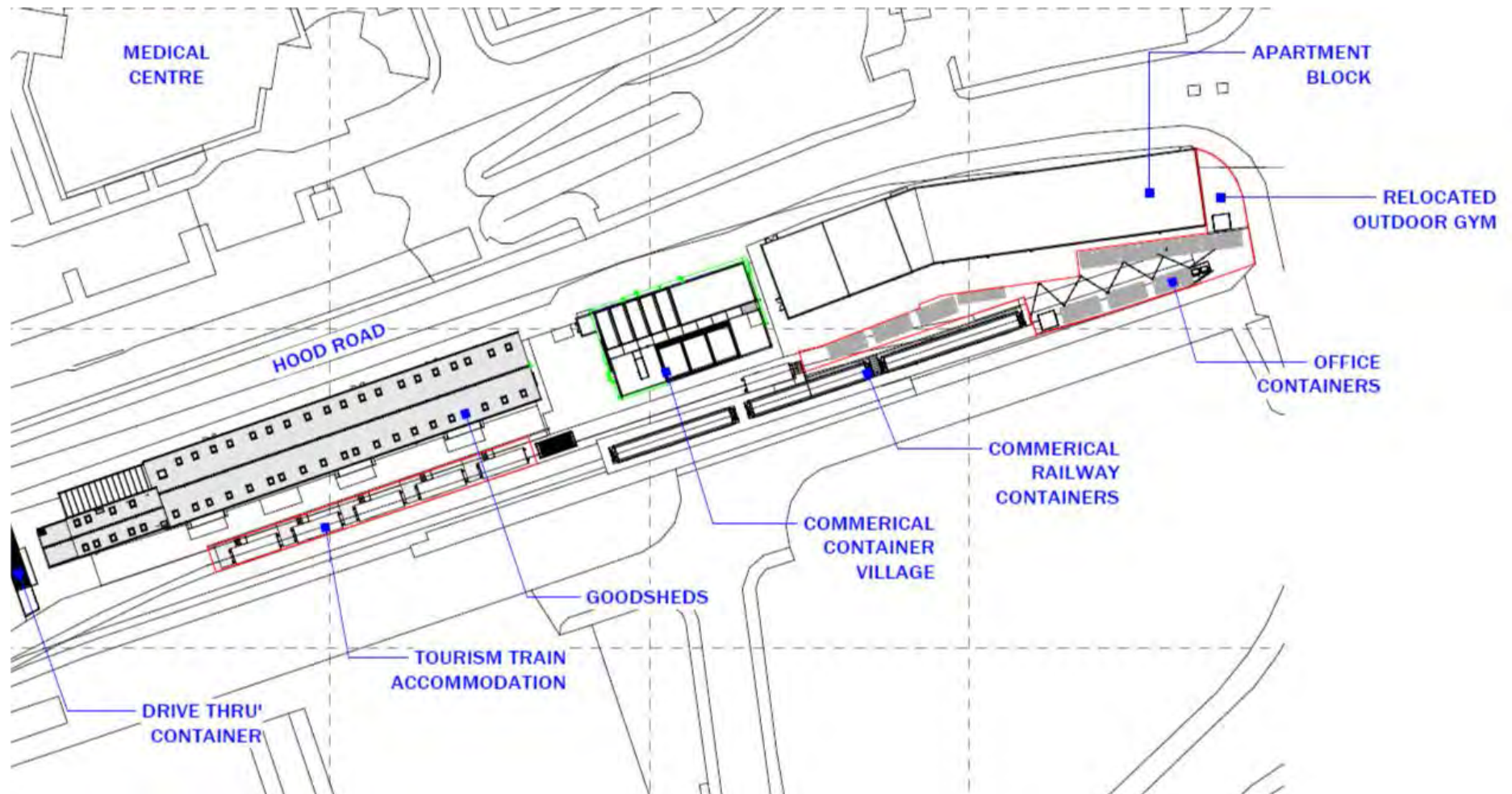


Site Location



2021/01123/FUL – Land to the South and West of the Goodsheds, Hood Road, Barry

Proposed Ground Floor/ Site Layout



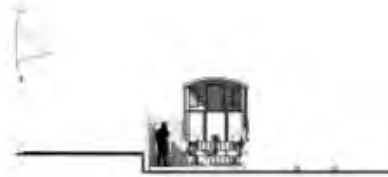
Proposed rail carriage elevations



02 TOALO CARRIAGES - ELEVATION B
1:500



03 TOALO CARRIAGES - ELEVATION C
1:500

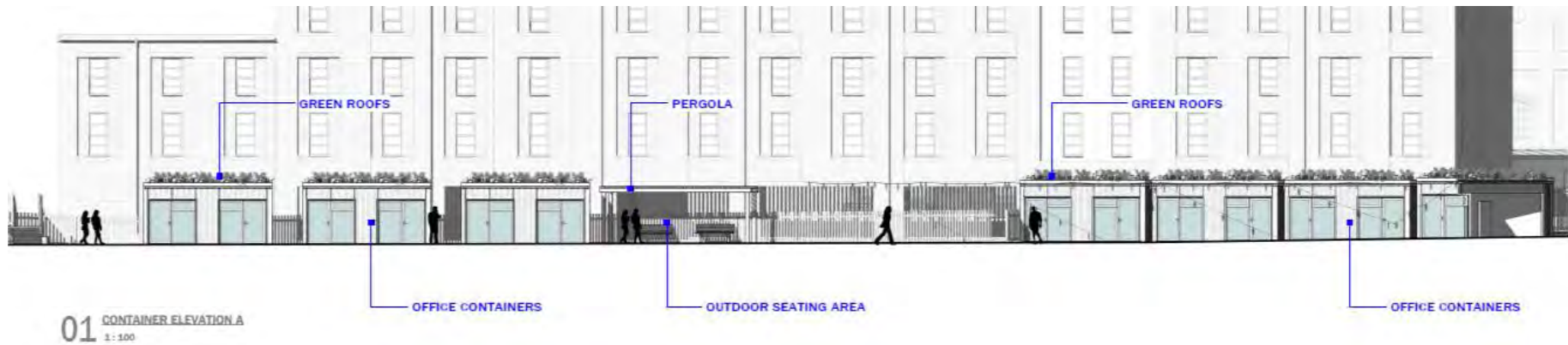


04 TOALO CARRIAGES - ELEVATION D
1:500



05 TOALO CARRIAGES - TYPICAL LAYOUT
1:50

Proposed elevations



Notes

Do not scale from
which are obtained
The contractor is to
is out to hand. Any
reported prior to us
Consent of the
drawings must only
submitted and be in
purpose without it

CHA

Site photograph 1 – view of Junction House from Hood Road



2021/01123/FUL – Land to the South and West of the Goodsheds, Hood Road, Barry

Site photograph 2 – view toward rear of Goodsheds site from Hood Road



2021/01123/FUL – Land to the South and West of the Goodsheds, Hood Road, Barry

Site photograph 3 – view toward rear of Goodsheds site from Ffordd y Mileniwm



2021/01123/FUL – Land to the South and West of the Goodsheds, Hood Road, Barry

Site photograph 4 – view toward rear of Goodshed building from land to the south



2021/01123/FUL – Land to the South and West of the Goodsheds, Hood Road, Barry

Site photograph 5 – view toward rear of Junction House from land at the south



2021/01123/FUL – Land to the South and West of the Goodsheds, Hood Road, Barry

Site photograph 6 – view toward Goodsheds site from Hood Road



2021/01123/FUL – Land to the South and West of the Goodsheds, Hood Road, Barry

Site Location



2021/01242/FUL – Land adjacent Littlemoor Farm, Llysworney

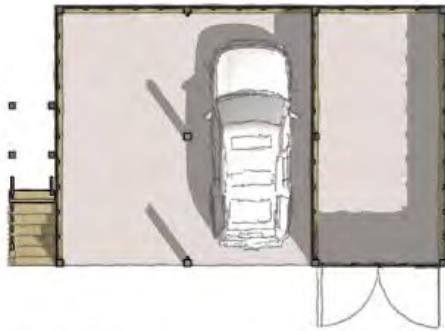
Proposed site layout



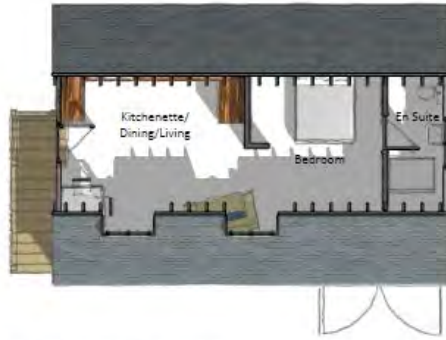
Proposed elevations



Proposed garage



GARAGE FLOOR PLAN
Proposed
Scale 1:100



GARAGE ROOM-OVER ANNEXE FLOOR PLAN
Proposed
Scale 1:100



GARAGE FRONT ELEVATION
Proposed
Scale 1:100



GARAGE REAR ELEVATION
Proposed
Scale 1:100

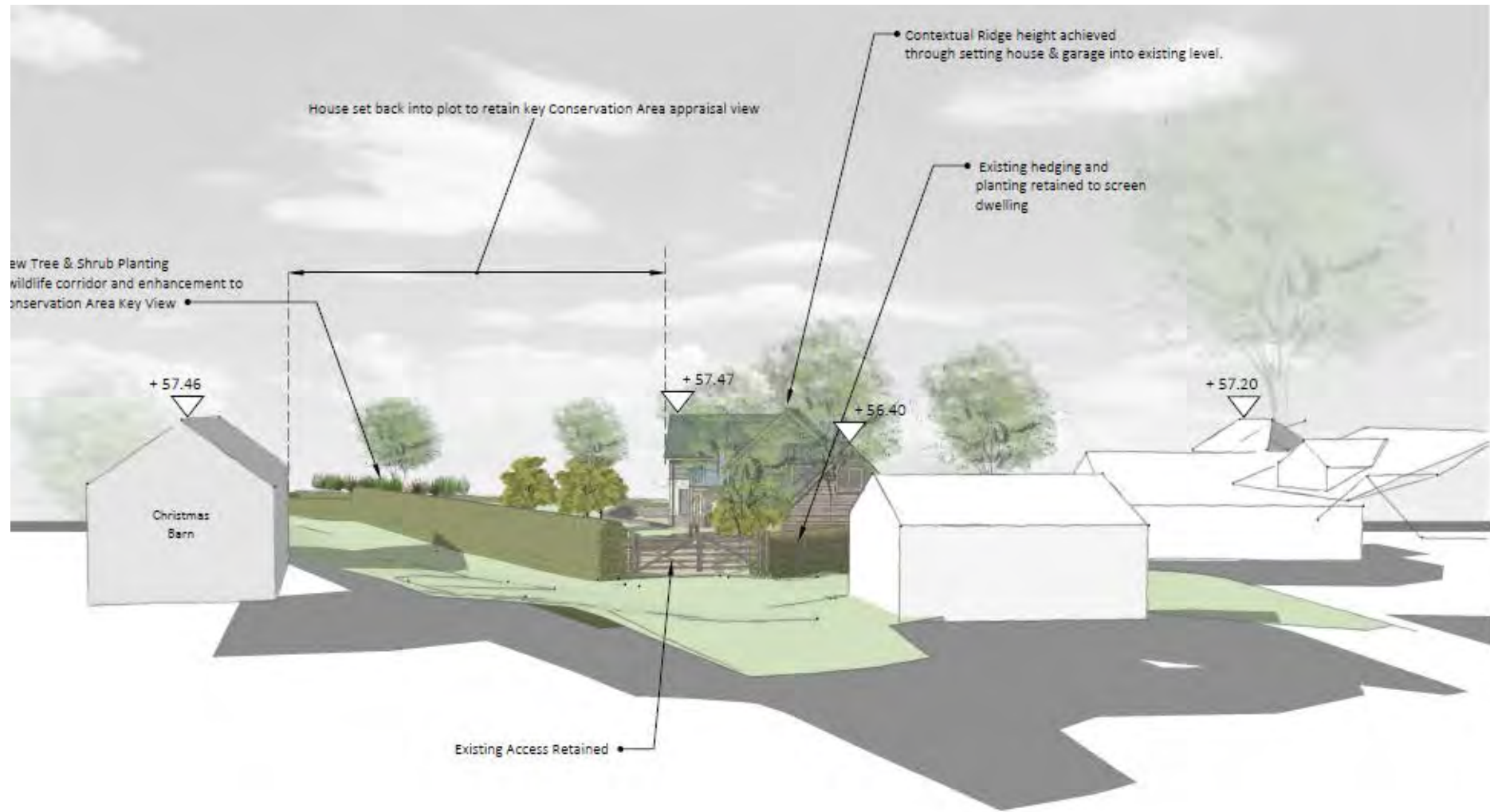


GARAGE SIDE R ELEVATION
Proposed
Scale 1:100



GARAGE SIDE L ELEVATION
Proposed
Scale 1:100

Proposed context



Site photograph 1 – Littlemoor Farm (existing dwelling)



2021/01242/FUL – Land adjacent Littlemoor Farm, Llysworney

Site photograph 2 – view toward Littlemoor Farm from Squire Street (north east)



2021/01242/FUL – Land adjacent Littlemoor Farm, Llysworney

Site photograph 3 – view toward Littlemoor Farm from Squire Street (north east)



2021/01242/FUL – Land adjacent Littlemoor Farm, Llysworney

Site photograph 4 – view from Squire Street (north west)



2021/01242/FUL – Land adjacent Littlemoor Farm, Llysworney

Site photograph 5 – site interior



2021/01242/FUL – Land adjacent Littlemoor Farm, Llysworney

Site photograph 6 – site interior



2021/01242/FUL – Land adjacent Littlemoor Farm, Llysworney

Site photograph 7 – site interior



2021/01242/FUL – Land adjacent Littlemoor Farm, Llysworney

Site photograph 8 – view from Squire Street (south)



2021/01242/FUL – Land adjacent Littlemoor Farm, Llysworney

Site photograph 9 – view from Squire Street (south)



2021/01242/FUL – Land adjacent Littlemoor Farm, Llysworney

Site photograph 10 – winter view from Squire Street (south)



Site photograph 11 – winter view from Squire Street (south)



2021/01242/FUL – Land adjacent Littlemoor Farm, Llysworney

Site photograph 12 – winter site interior



2021/01242/FUL – Land adjacent Littlemoor Farm, Llysworney

2022/00046/FUL

318600m

318700m

171300m

171200m



Client	MR AND MRS ARNOLD
Project	4 PARK ROAD, PENARTH

Title	LOCATION PLAN
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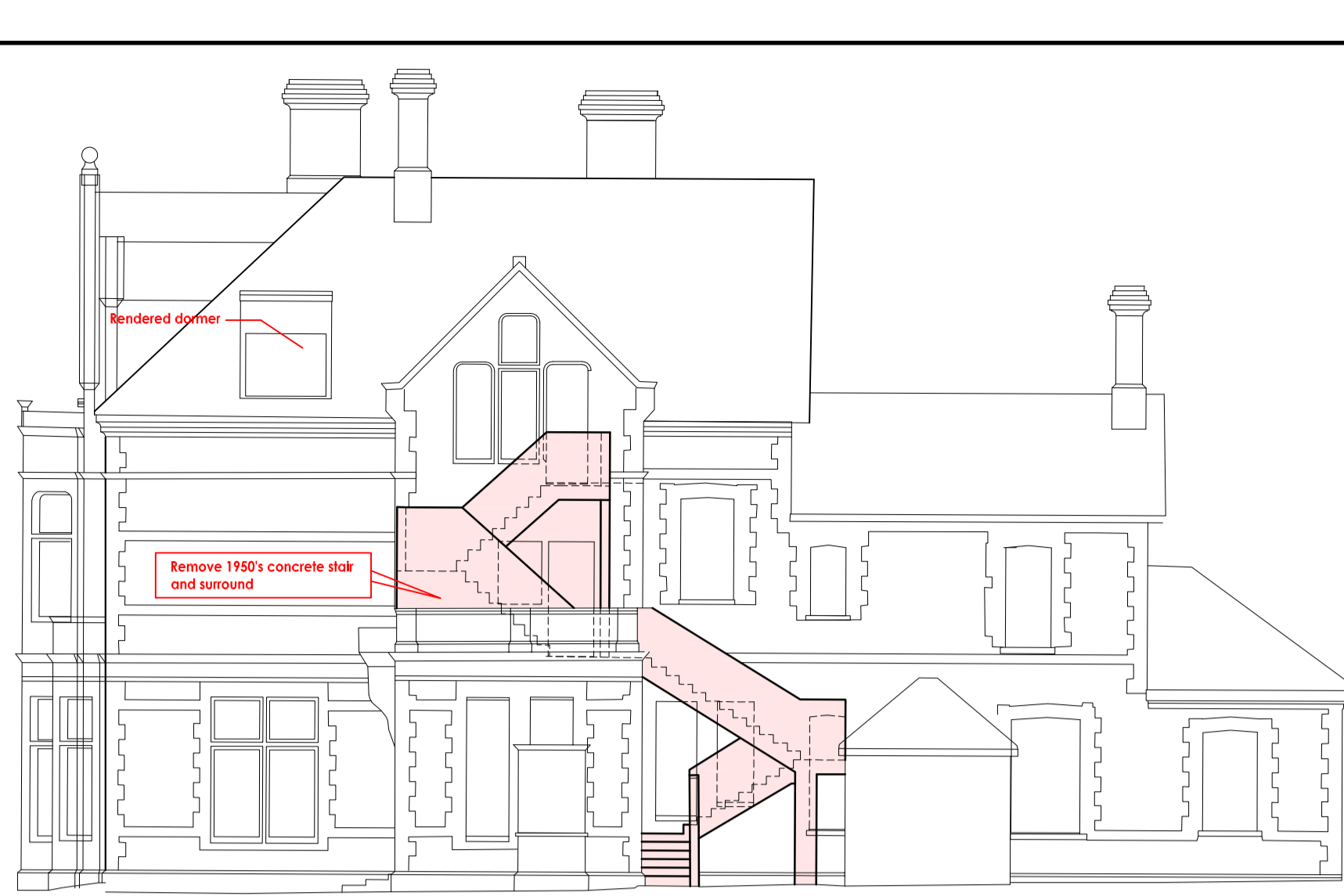
Status	Date	Scale	Drawing No.	Rev
Design	Nov 2021	1:1250 @ A4	PR:05	

nigel arnold / architect

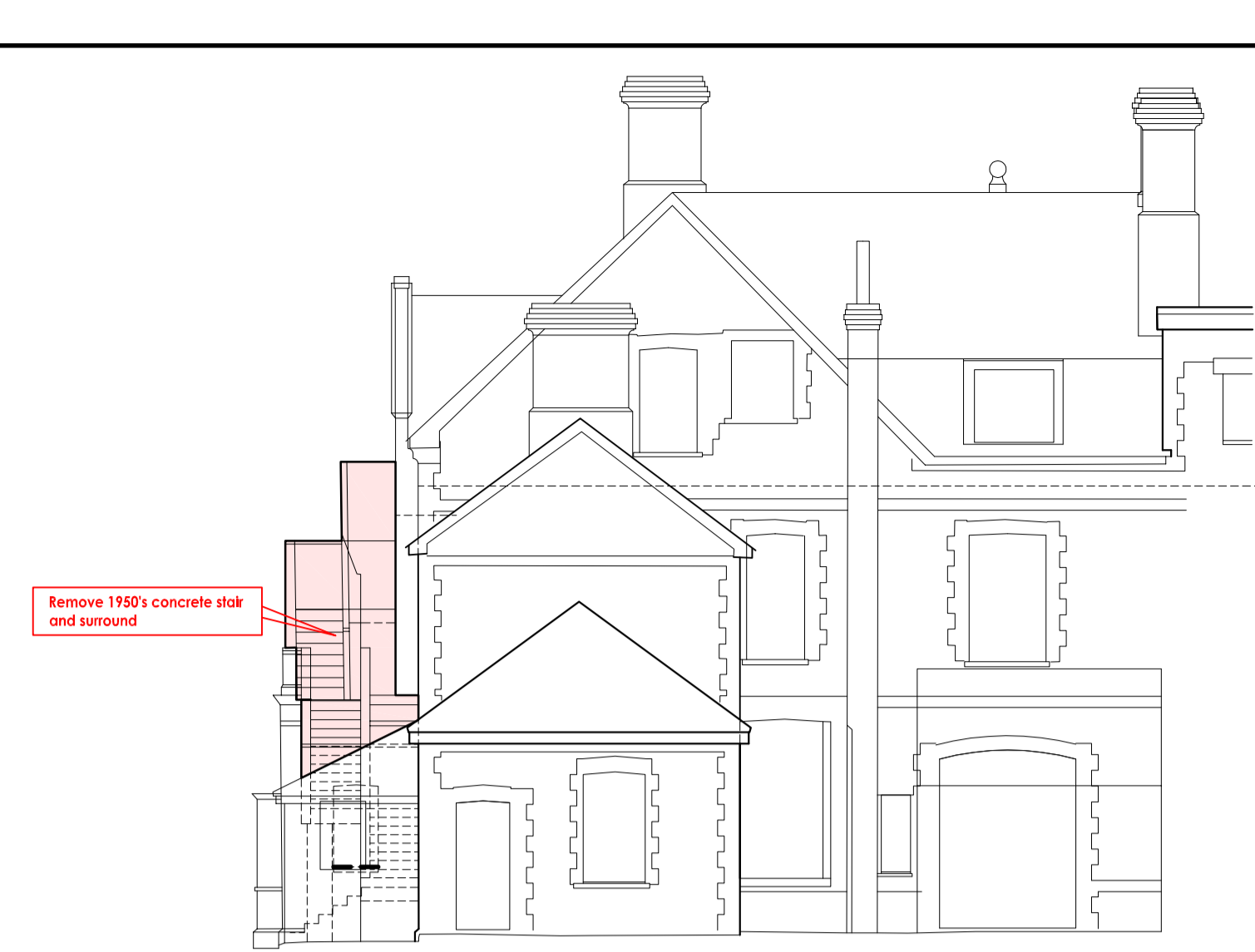
- The Studio,
- 5 Penarth Head Lane,
- Penarth,
- Vale of Glamorgan, CF64 1BB
- t: 029 2070 2501
- e: studio@nigel-arnold.com



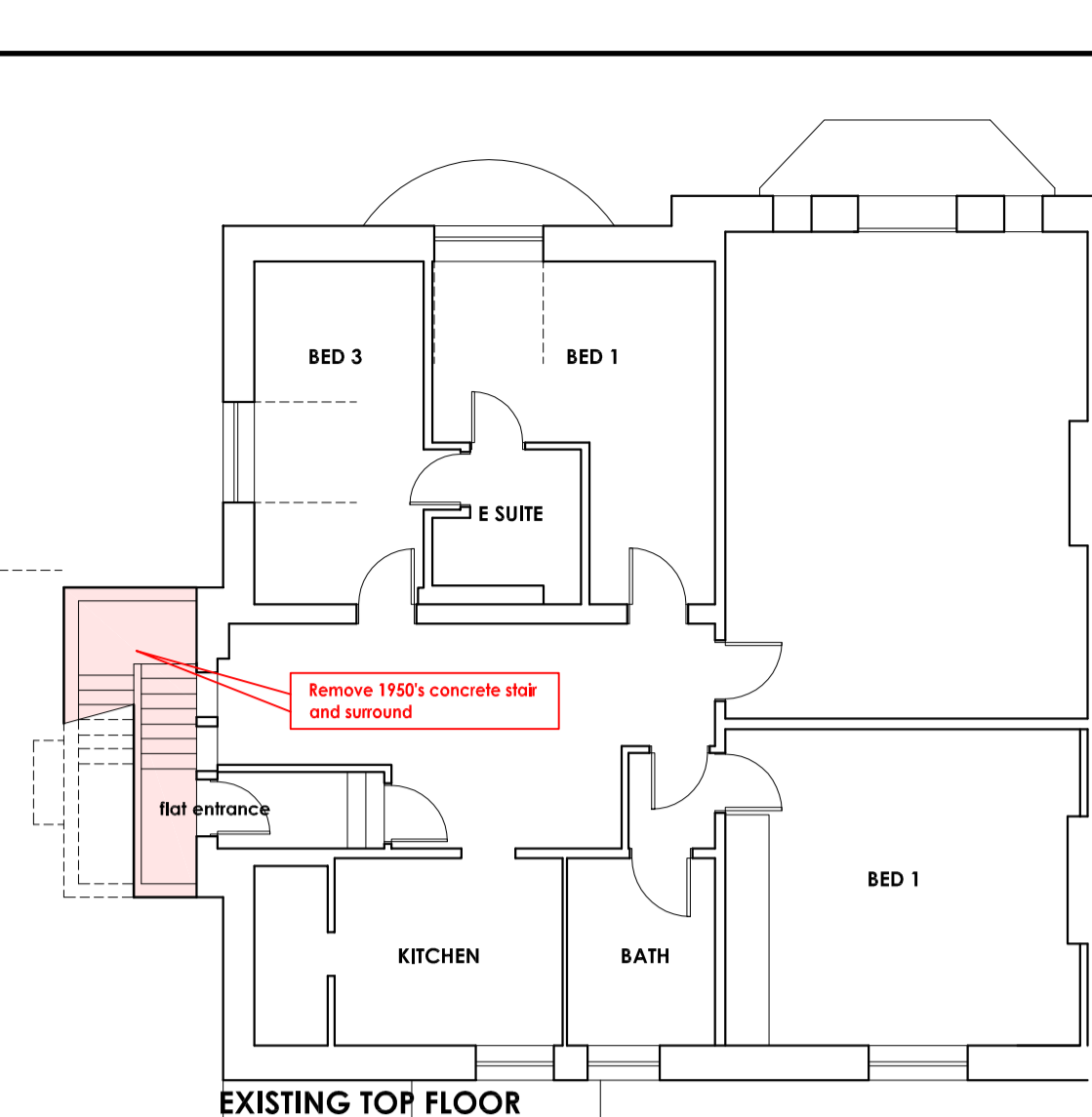
EXISTING ROAD ELEVATION



EXISTING SIDE ELEVATION



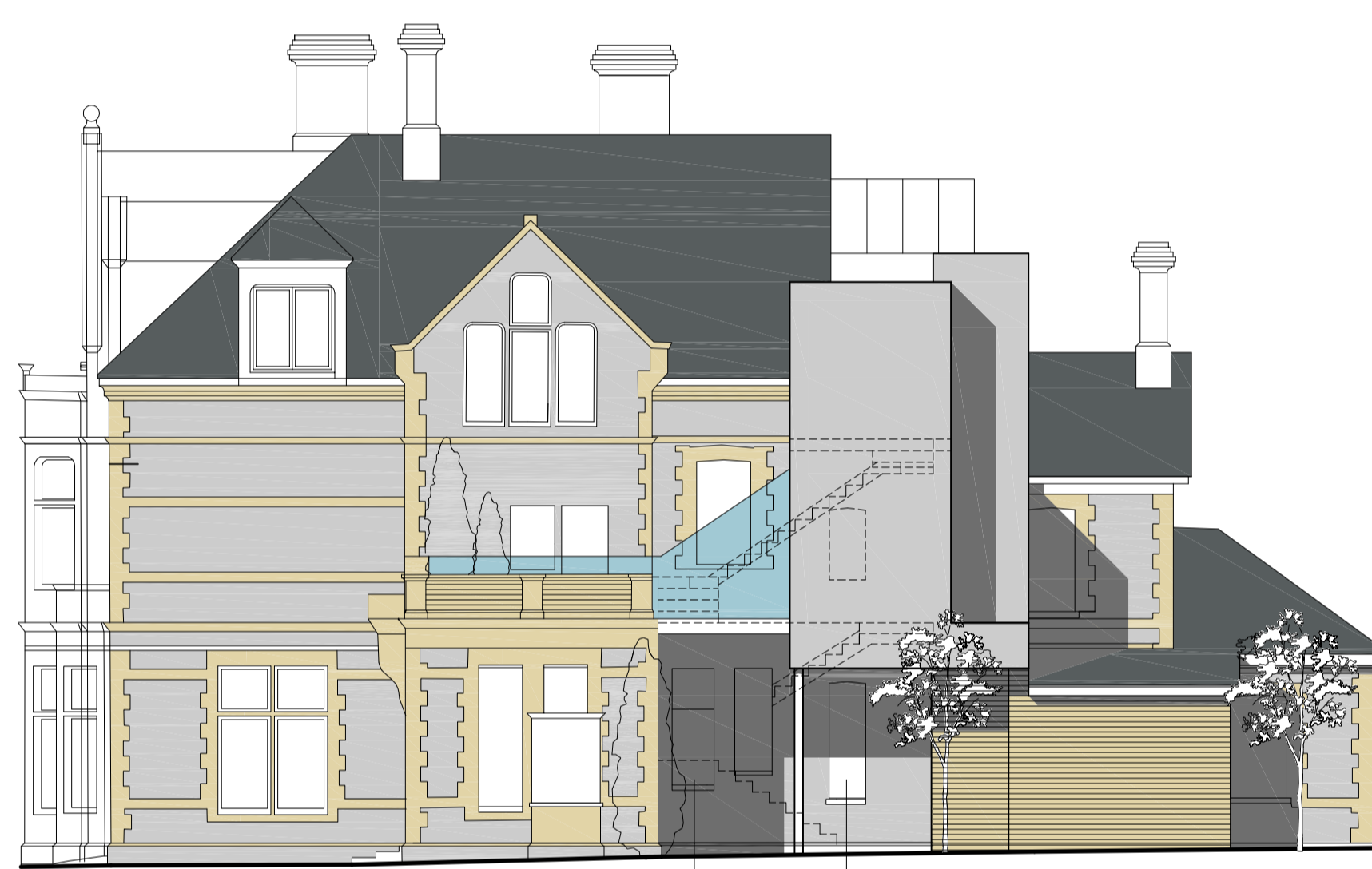
EXISTING REAR ELEVATION



EXISTING TOP FLOOR



PROPOSED ROAD ELEVATION



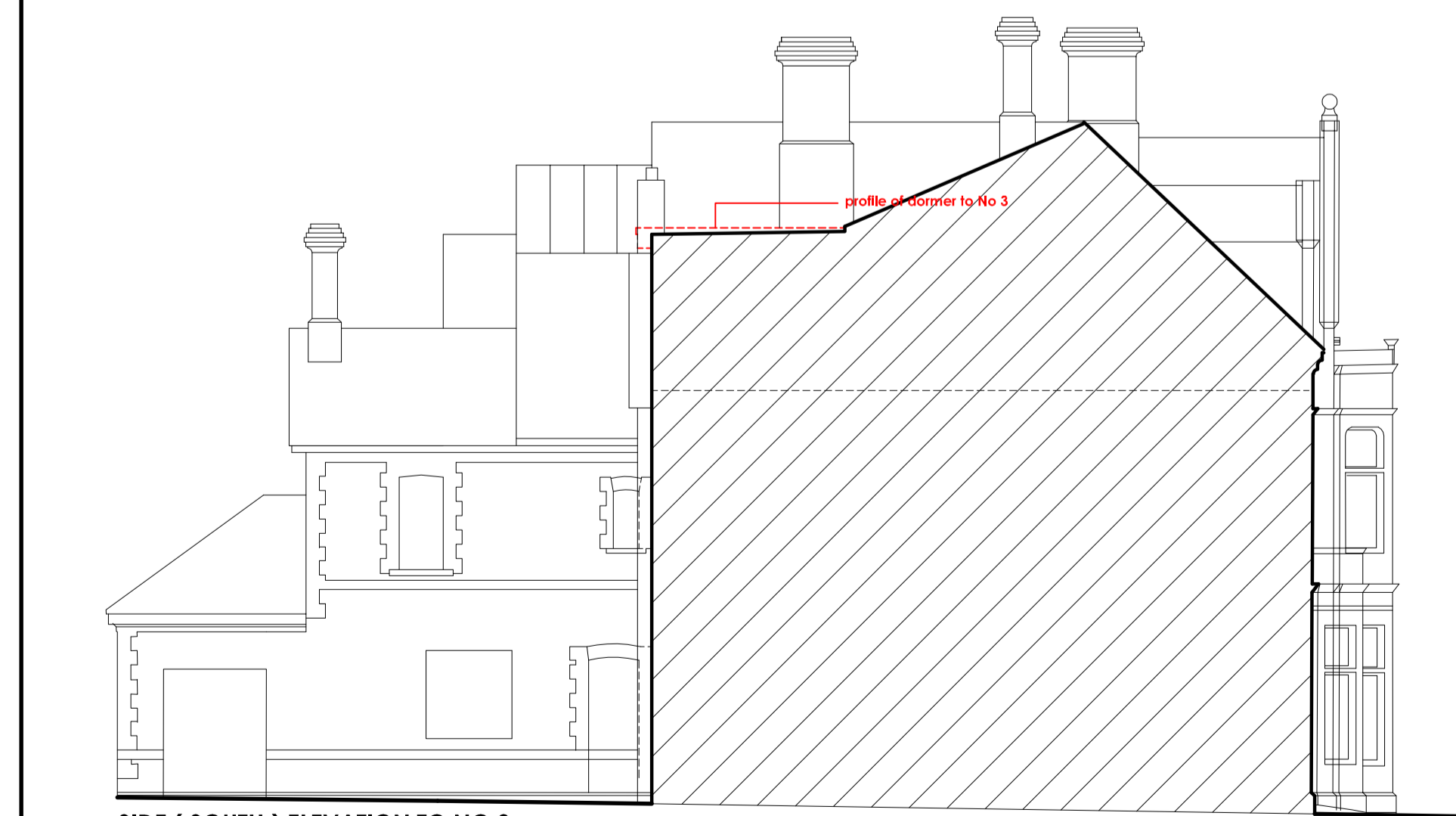
PROPOSED SIDE ELEVATION



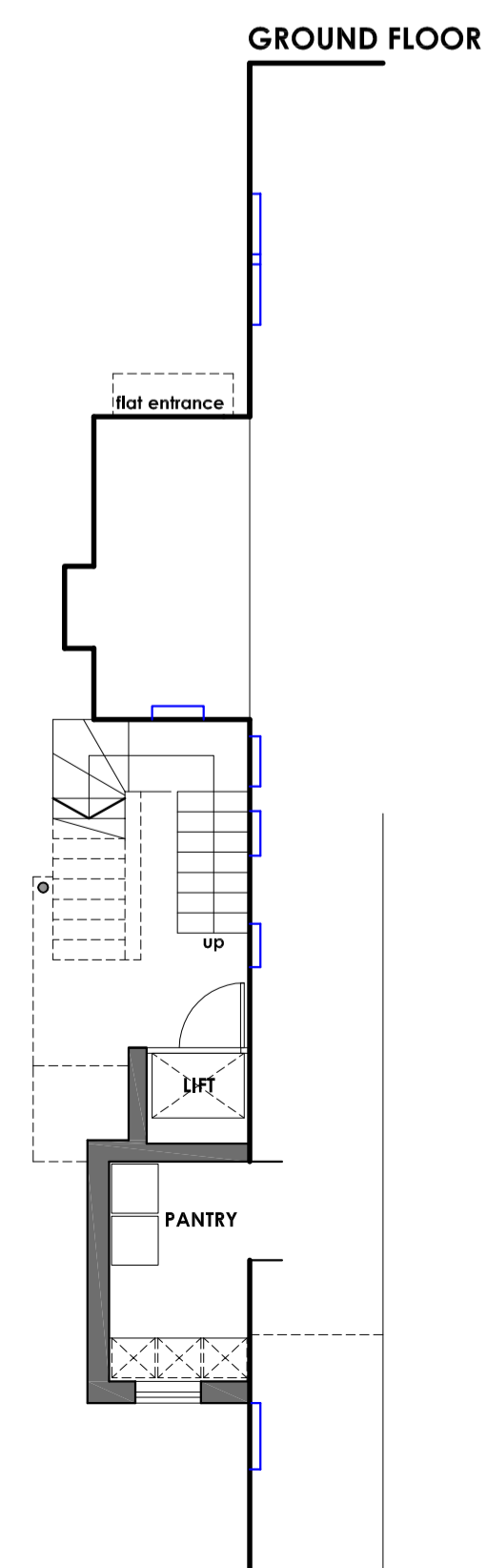
PROPOSED REAR ELEVATION

EXTERNAL MATERIALS:

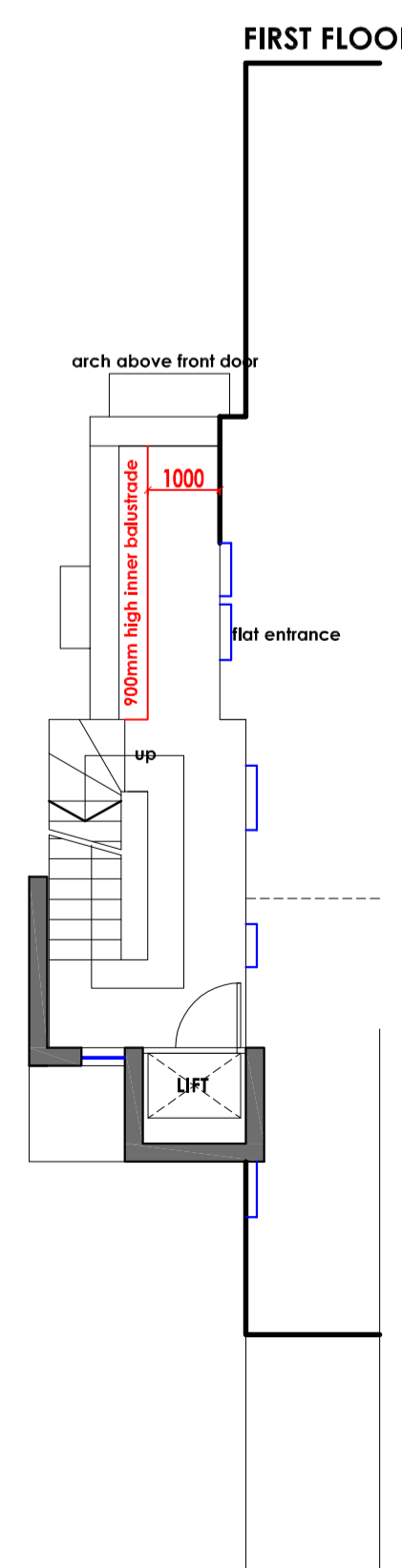
- 1. ROOF *Single ply membrane (concealed)*
- 2. STAIR *Steel with glass and steel balustrading*
- 3. EXTERNAL WALLS *Dark coloured silicone render, and buff coloured brick*
- 4. WINDOWS / DOORS *Front - painted hardwood
Rear - powder coated aluminium*



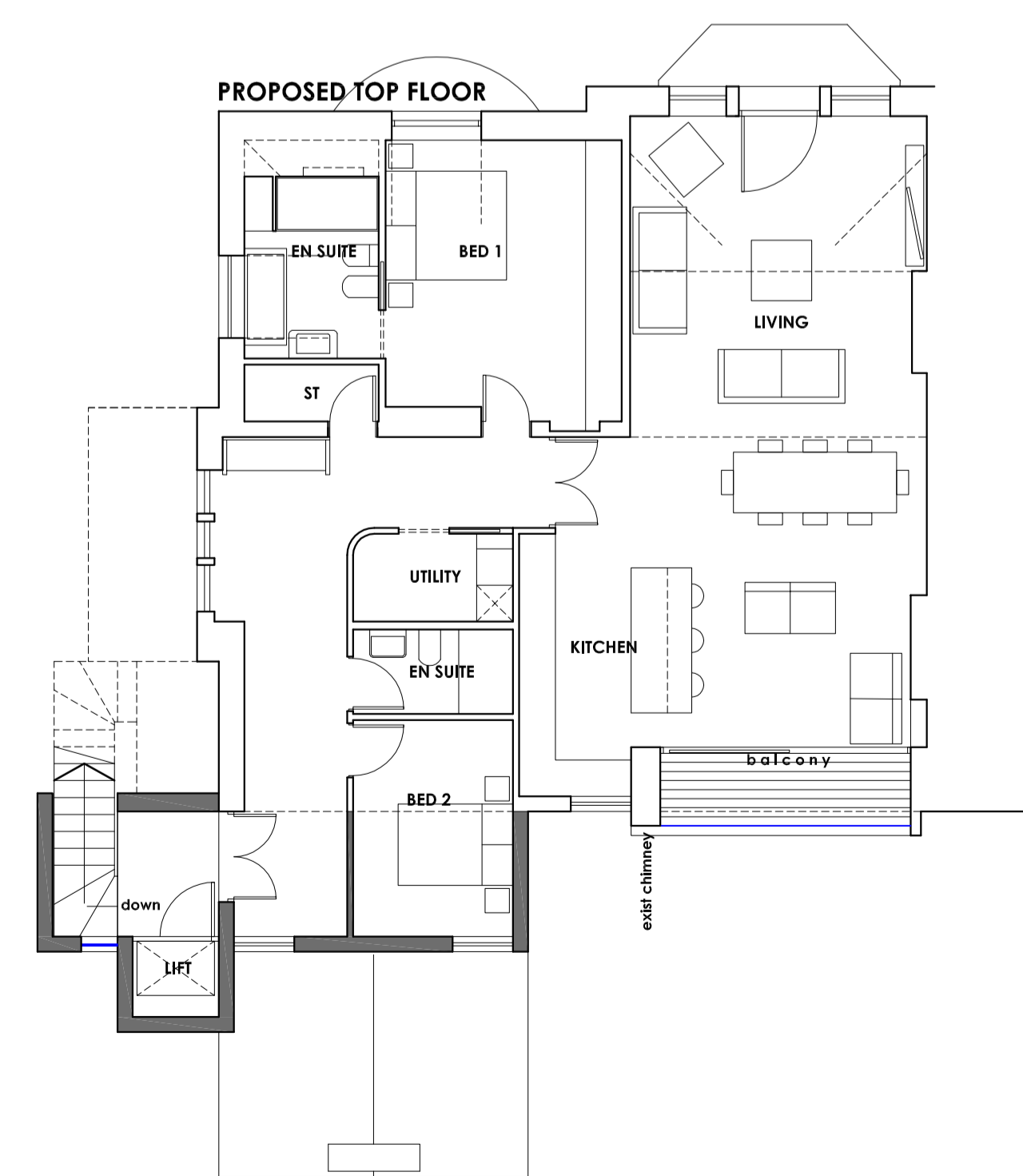
SIDE (SOUTH) ELEVATION TO NO 3



GROUND FLOOR



FIRST FLOOR



PROPOSED TOP FLOOR

2022/00046/FUL

- REVISION E - 19.05.22 *WINDOWS AND DOOR OPENING ABOVE FRONT ELEVATION BAY RETAINED AS EXISTING*
- REVISION D - 06.05.22 *DECK ACCESS TO FIRST FLOOR FLAT ENTRANCE DOOR RESTRICTED TO A 1 METRE WIDTH*
- REVISION C - 14.04.22 *PARAPET WALL TO SIDE OF PORCH ANNEXE RETAINED*
- REVISION B - 31.03.22 *GLAZING FACING NO 5 PARK ROAD REMOVED FROM LIFT/STAIR ENCLOSURE
JULIET BALCONY DOORS AND BALUSTRADE REMOVED FROM FRONT ELEVATION
PROPOSED REAR FACING BALCONY SET BACK INTO FOOTPRINT OF EXISTING BUILDING*

Client
MR AND MRS ARNOLD
Project
4 PARK ROAD, PENARTH

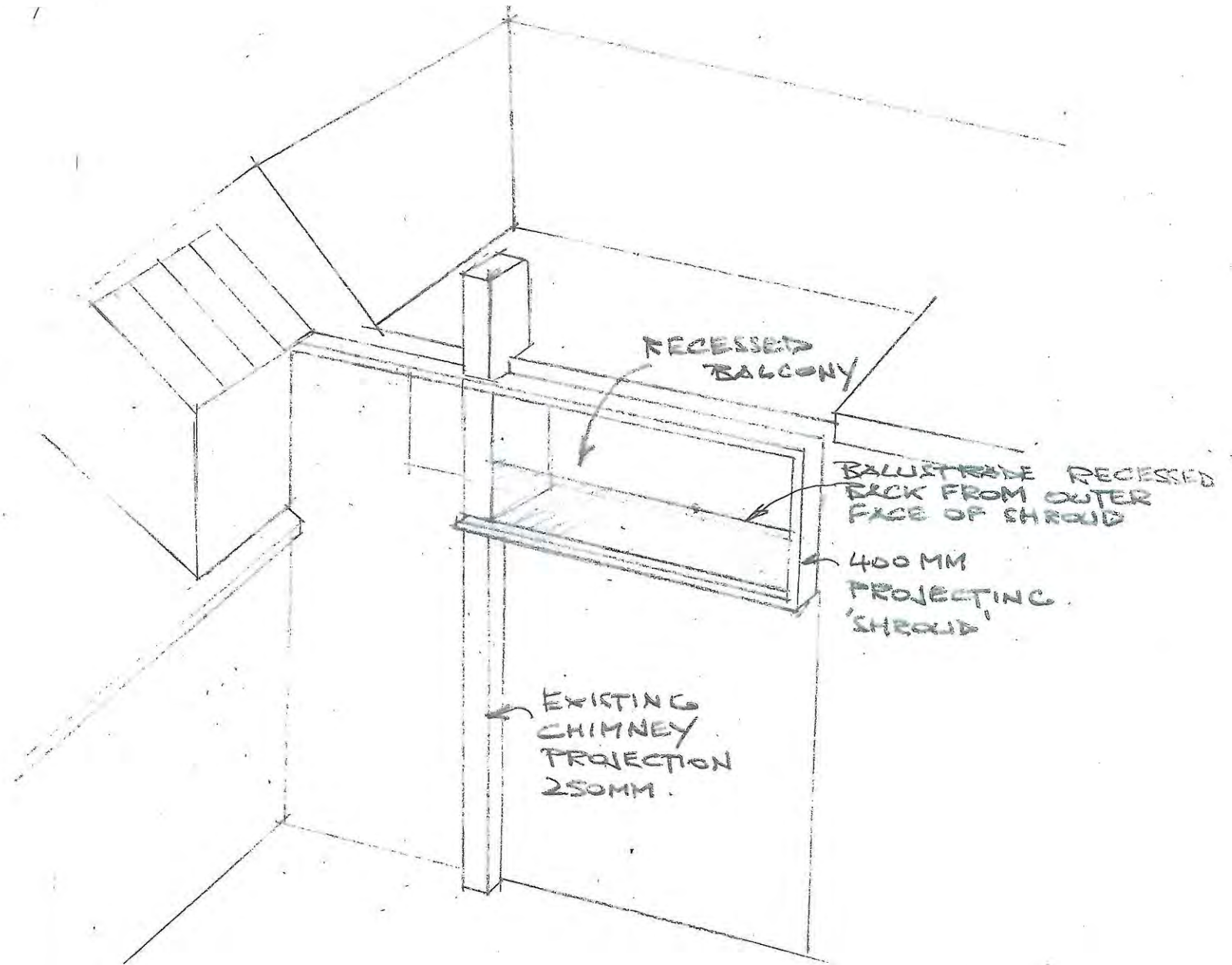
Title
PROPOSED PLANS AND EXISTING / PROPOSED ELEVATIONS

Status	Date	Scale	Drawing No.	Rev
Design	Jan 2022	1:100 @ A1	PR:04	E

The Studio,
5 Penarth Head Lane,
Penarth,
Vale of Glamorgan, CF44 1BB
t: 029 2070 2501
e: studio@nigel-arnold.com

nigel arnold / architect

2022/00046/FUL



IMG7468 – views from applicants dwelling dormer window towards No3



IMG7519 Applicants side elevation, stood roughly at the entranceway to the applicants dwelling



IMG7525 – Applicants existing stairway



IMG9160 – No5 side elevation



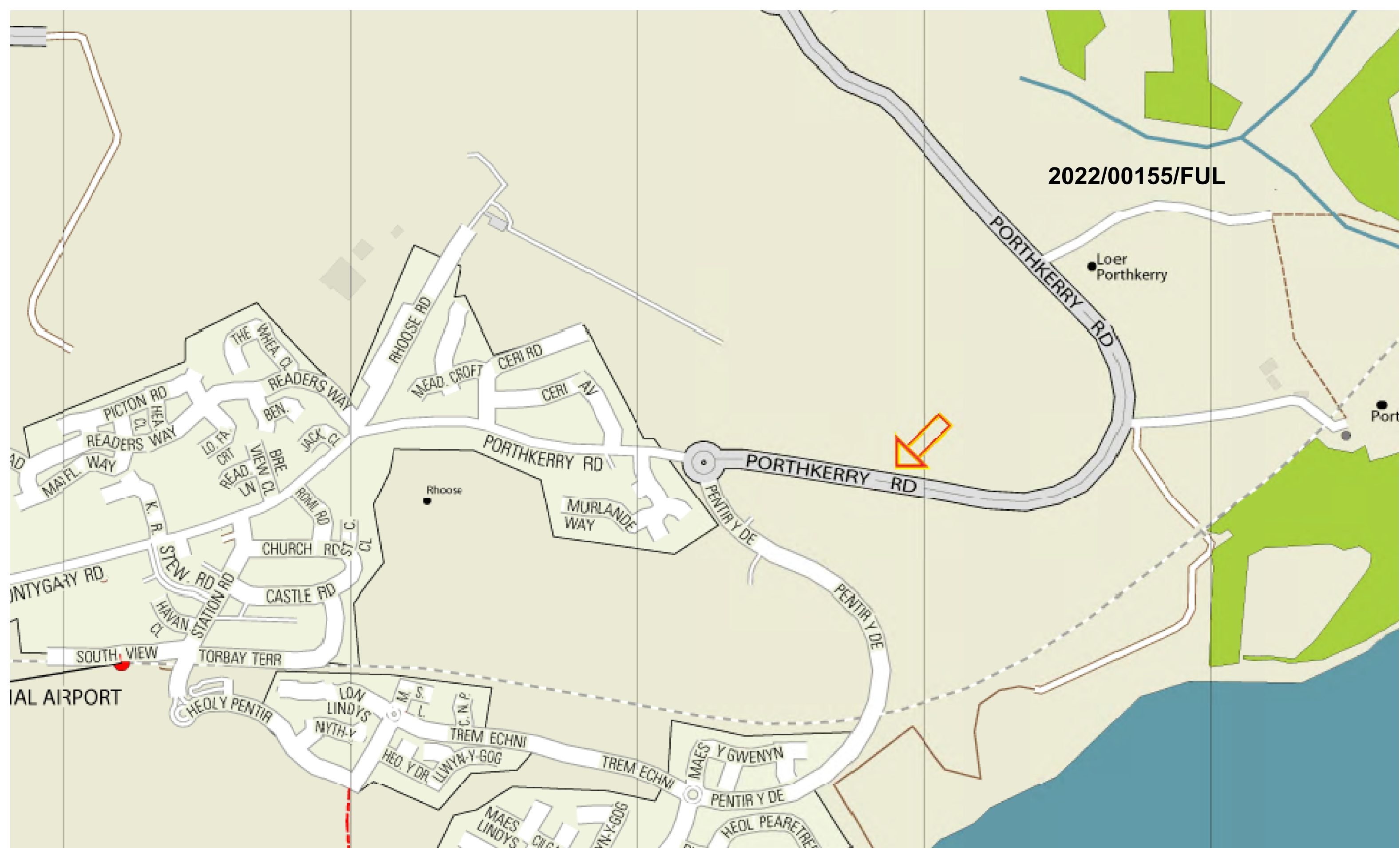
IMG9177- views from first floor apartemtn towards No5



IMG 7505 – Rear elevation of applicants dwelling and No3



2022/00155/FUL



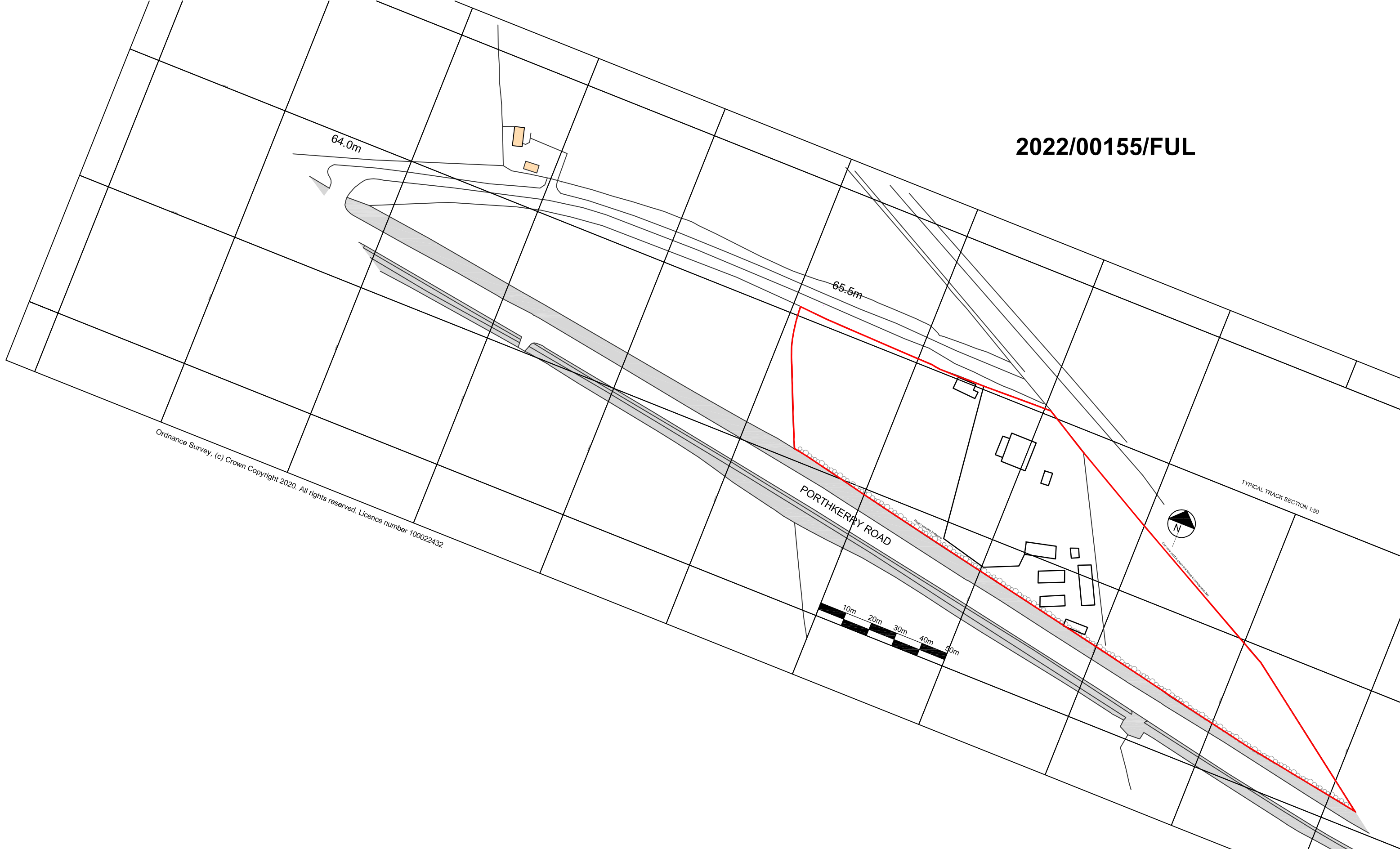
rev	date	revision note	initls	scale	drawn	check	date	status	job no	rev
A	12/07/20	Location plan extended & amended	AS	NTS	AS		09/02/22	PLANNING	AS38	-
title							client		drawing number	
LOCATION MAP							MR DARREN EVANS		002	

Figured dimensions to be used in preference to scaled sizes
 All dimensions to be checked by the contractor before commencing work and any discrepancies reported to the Architect
 Drawings to be read in conjunction with Structural Engineers and other consultants drawings.

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2022/00155/FUL

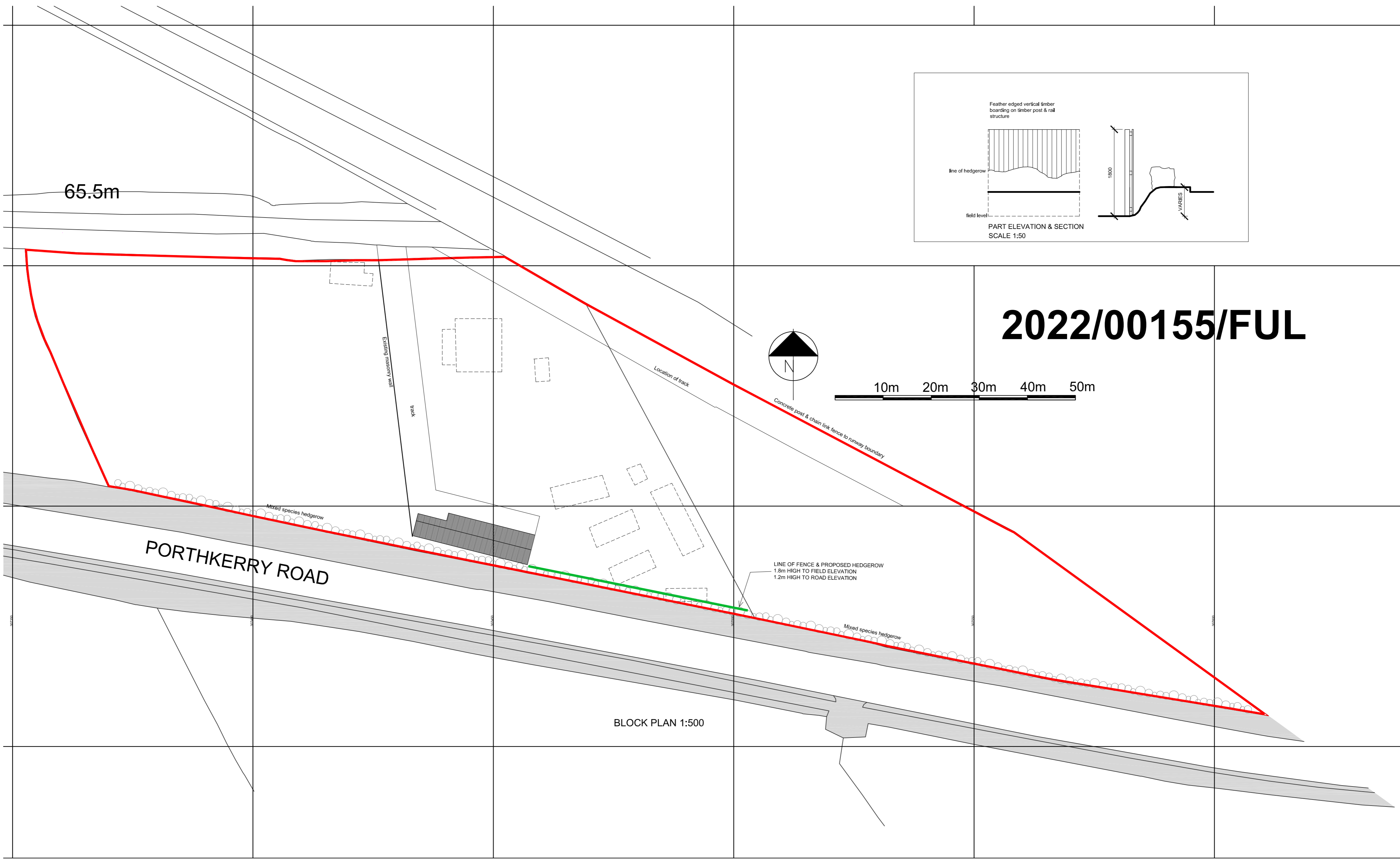


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TYPICAL TRACK SECTION 1:50

rev	date	revision note	inits	scale @ A3	drawn	check	date	status	job no	rev
A	12/07/20	Location plan extended & amended	AS	1:1250	AS		09/02/22	PLANNING	AS38	-
B	24/10/20	Location plan amended	AS							
C	04/01/21	Location plan amended	AS							
				title		client		drawing number		
				LOCATION PLAN		MR DARREN EVANS		001		

Figured dimensions to be used in preference to scaled sizes
 All dimensions to be checked by the contractor before commencing work and any discrepancies reported to the Architect
 Drawings to be read in conjunction with Structural Engineers and other consultants drawings.
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2022/00155/FUL

BLOCK PLAN 1:500

	notes	5m @ 1:100	rev	date	revision note	AS	Figured dimensions to be used in preference to scaled sizes All dimensions to be checked by the contractor before commencing work and any discrepancies reported to the Architect Drawings to be read in conjunction with Structural Engineers and other consultants drawings. This drawing is the property of Copyright is reserved by them and the drawing is issued on the condition that it is not copied, reproduced, retained or disclosed to any unauthorised person either wholly or in part without the consent of	scale @ A2	drawn	check	date	status	job no	rev
		2.5m @ 1:50	A	10/03/22	Fence detail & section added			1:500	AS		09/02/22	PLANNING	AS38	A
								title	client				drawing number	
								BLOCK PLAN PROPOSED FENCE	MR DARREN EVANS LAND OFF PORTHKERRY ROAD RHOOSE				202	

Photos for Committee – Fence at Porthkerry Road – 2022/00155/FUL

1. Fence from Porthkerry Road showing wider views.



2. Close up images of the fence partially completed



3. Completed section of fence along the road



2022/00401/FUL



LOCATION PLAN 1:1250

2022/00401/FUL



Notes:

Project : Single and two storey extensions, alterations and renovations

Job No : 1010 0275 3 The White House, Barry

Title : Proposed Site Block Plan

Client : Mr and Mrs Markos and Markella Asprou

Drawing No : AS 01

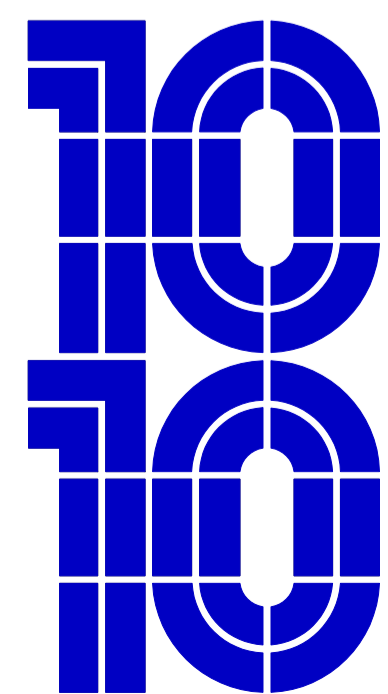
PLANNING

Revision

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1010 Architects.
Studio 2
The Coach House, Stanwell Road
Penarth, CF64 3EU
tel. +44(0) 029 2071 0100 email; info@1010architects.com

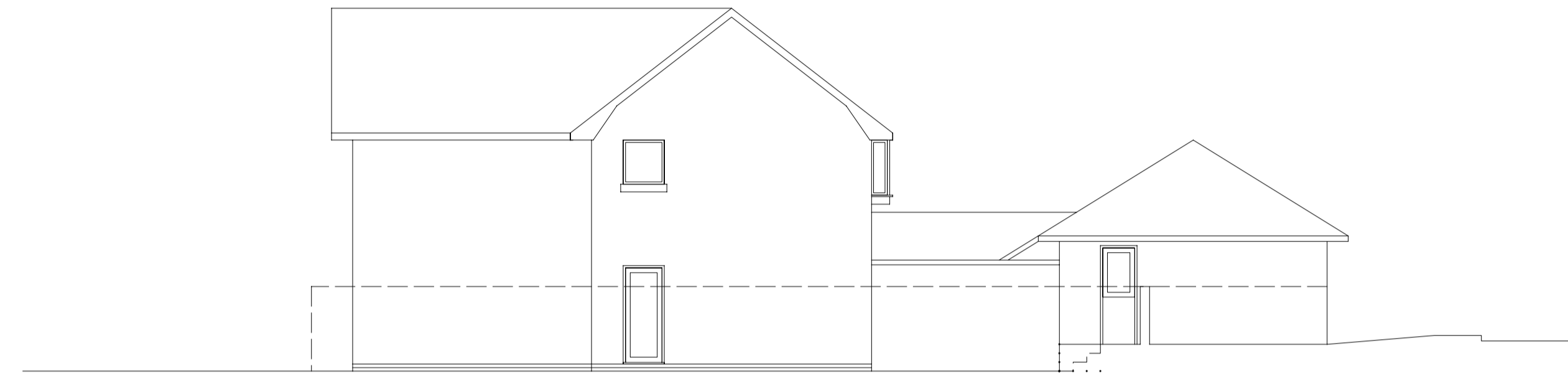
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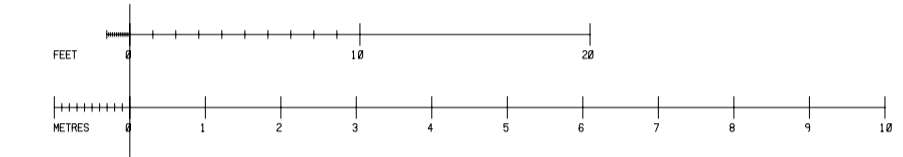
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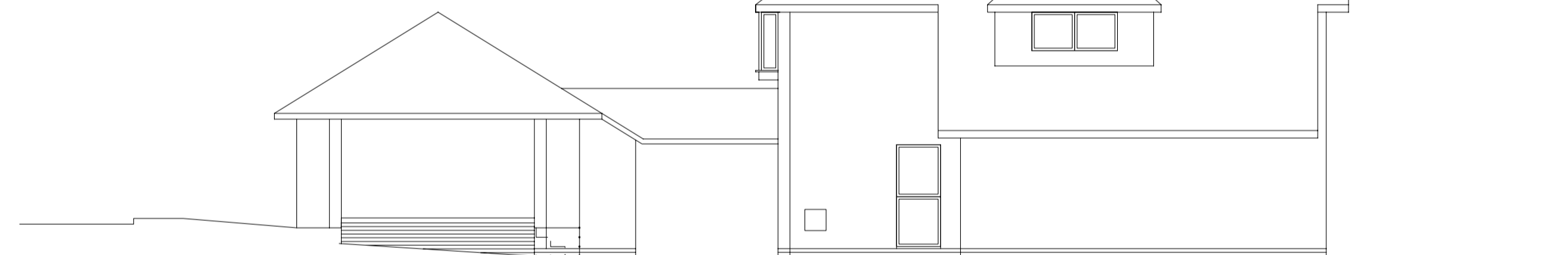
SOUTH FACING



WEST FACING



SOUTH FACING FROM HIGHWAY



EAST FACING



NORTH FACING

Notes:

Project : Single and two storey extensions, alterations and renovations

Job No : 1010 0275 3 The White House, Barry

Title : Existing Elevations

Client : Mr and Mrs Markos and Markella Asprou

Drawing No : EE 01

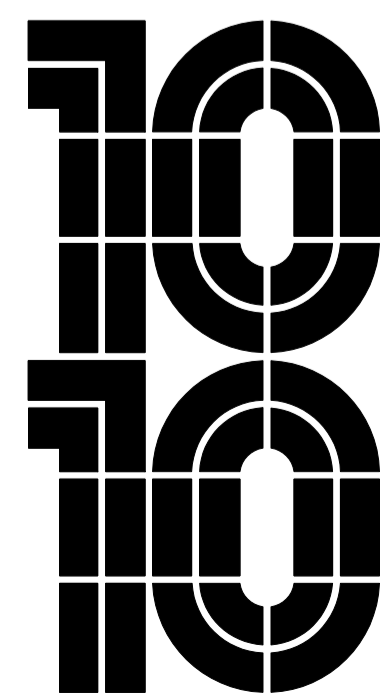
PLANNING

Revision

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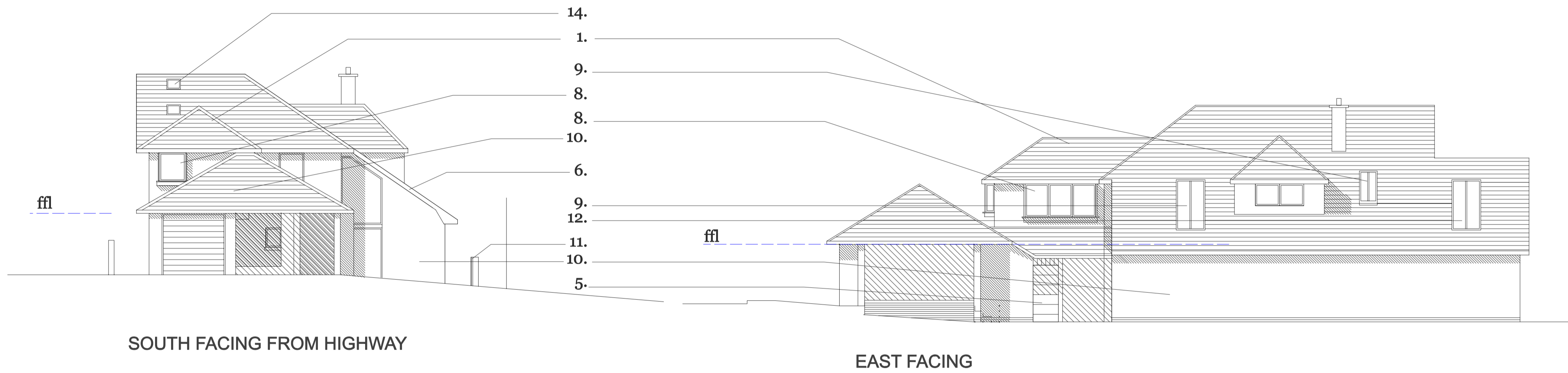
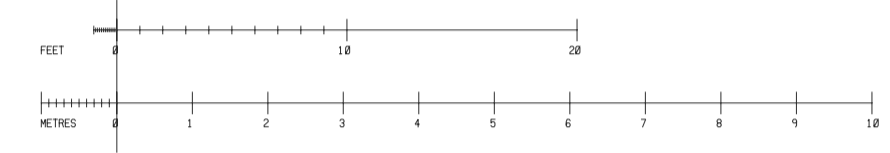
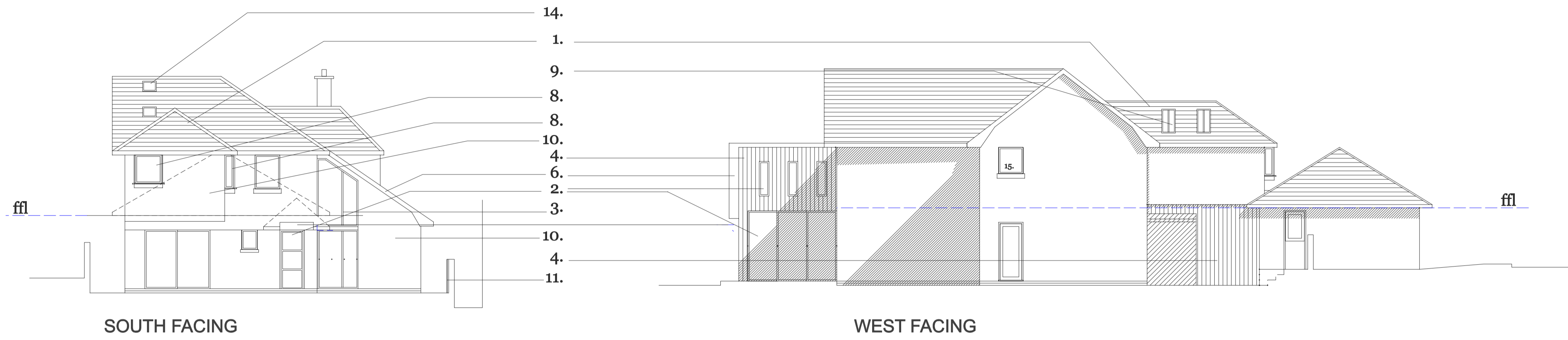
1010 Architects.
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tel. +44(0) 029 2071 0100 email; info@1010architects.com

Scale 1:100 @ A1 1:200 @ A3
Date Jan 21
Drawn CAD
Checked AA



- Material Key:**
1. Slate tiles to match existing
 2. Hardwood timber windows and doors to match the existing, painted grey RAL 7023
 3. Timber frame window to match existing
 4. Blackened Larch vertical timber cladding
 5. Sectional door - black.
 6. Timber fascia and soffit to match existing, painted black
 7. Black rainwater goods to match the existing
 8. Projecting window bay to replace the existing
 9. Conservation style window, obscure and non opening
 10. Smooth sand cement render painted white to match the existing
 11. Timber fence same height as the existing boundary wall - to match cladding of main house
 12. Conservation style velux roof lights
 14. Sunpipe
 15. Obscure glazing as existing

2022/00401/FUL



Notes:

- Rev 1 - March 21 - Revisions and annotations made in accordance with lpa comments
- Rev 2 - March 21 - Revisions and annotations made in accordance with lpa comments
- Rev 3 - April 21 - Alterations to layout and design in order to reflect the co-habitation requirements for the proposed works.
- Rev 4 - March 22 - Revised in accordance with planing inspectorate comments
- Rev 5 - May 22 - Revised in accordance with planing inspectorate comments

Project : Single and two storey extensions, alterations and renovations incorporating annexed co-habitation at ground floor.

Client : Mr and Mrs Markos and Markella Asprou

Job No : 1010 0275 3 The White House, Barry

Title : Proposed Elevations

Drawing No : AE 01

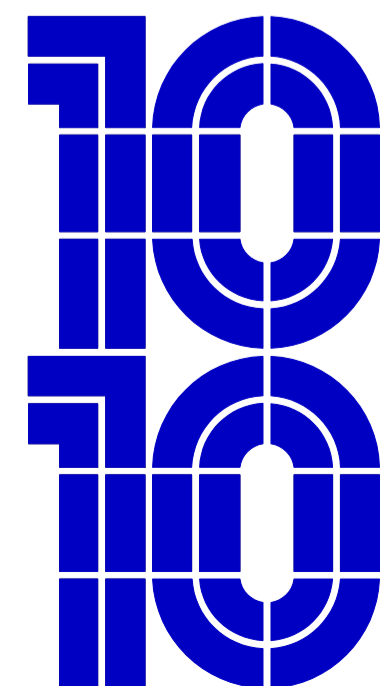
Revision

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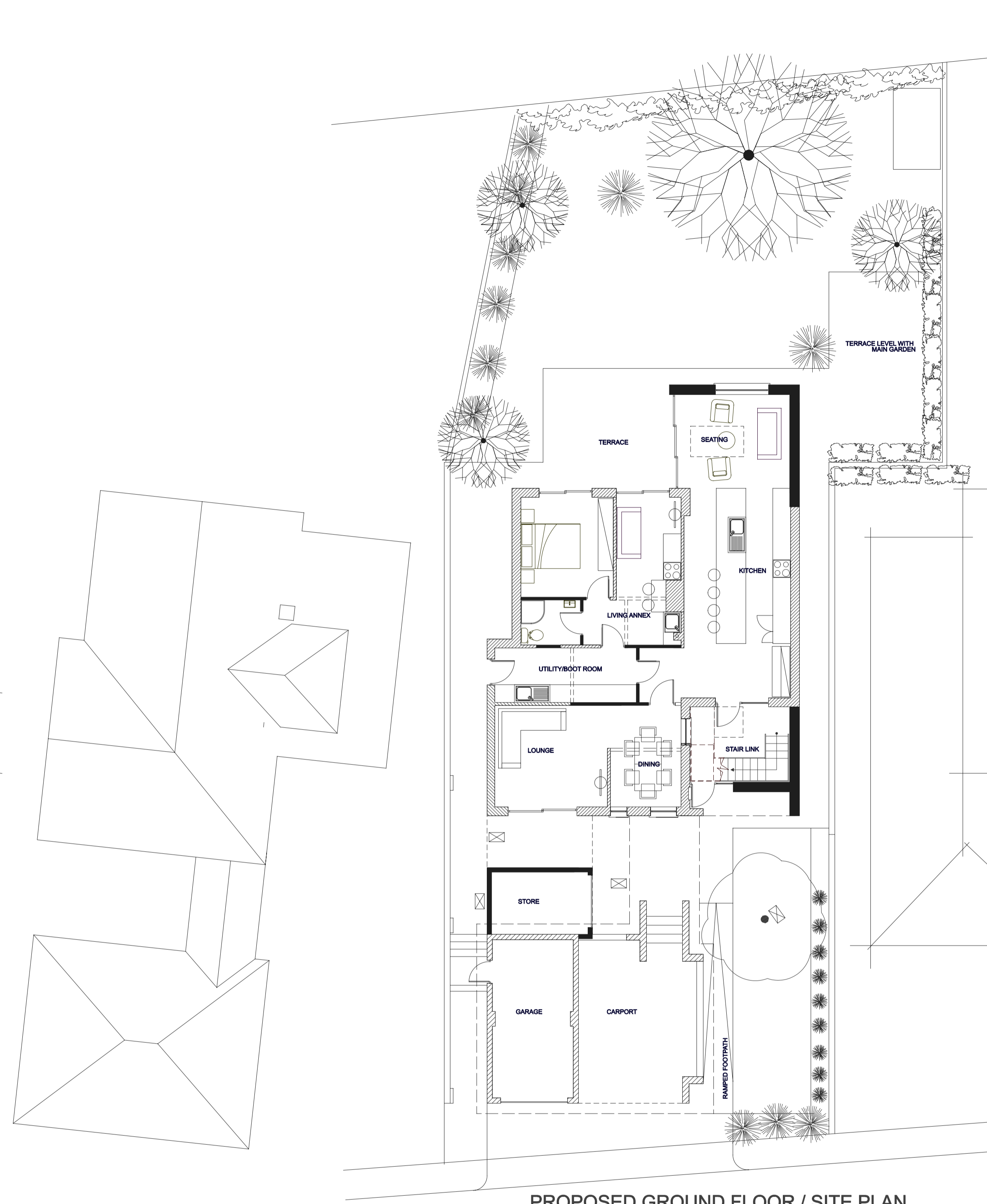
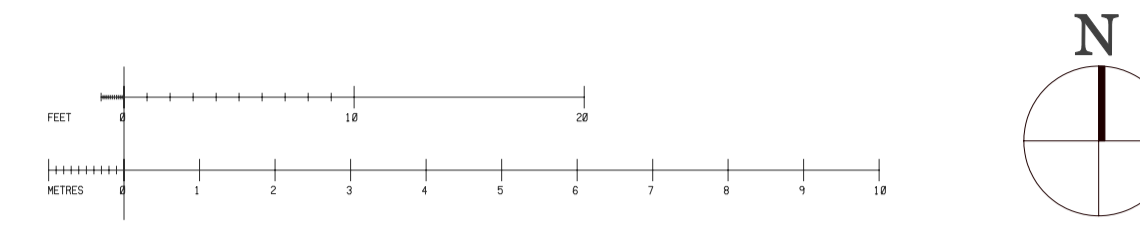
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PLANNING

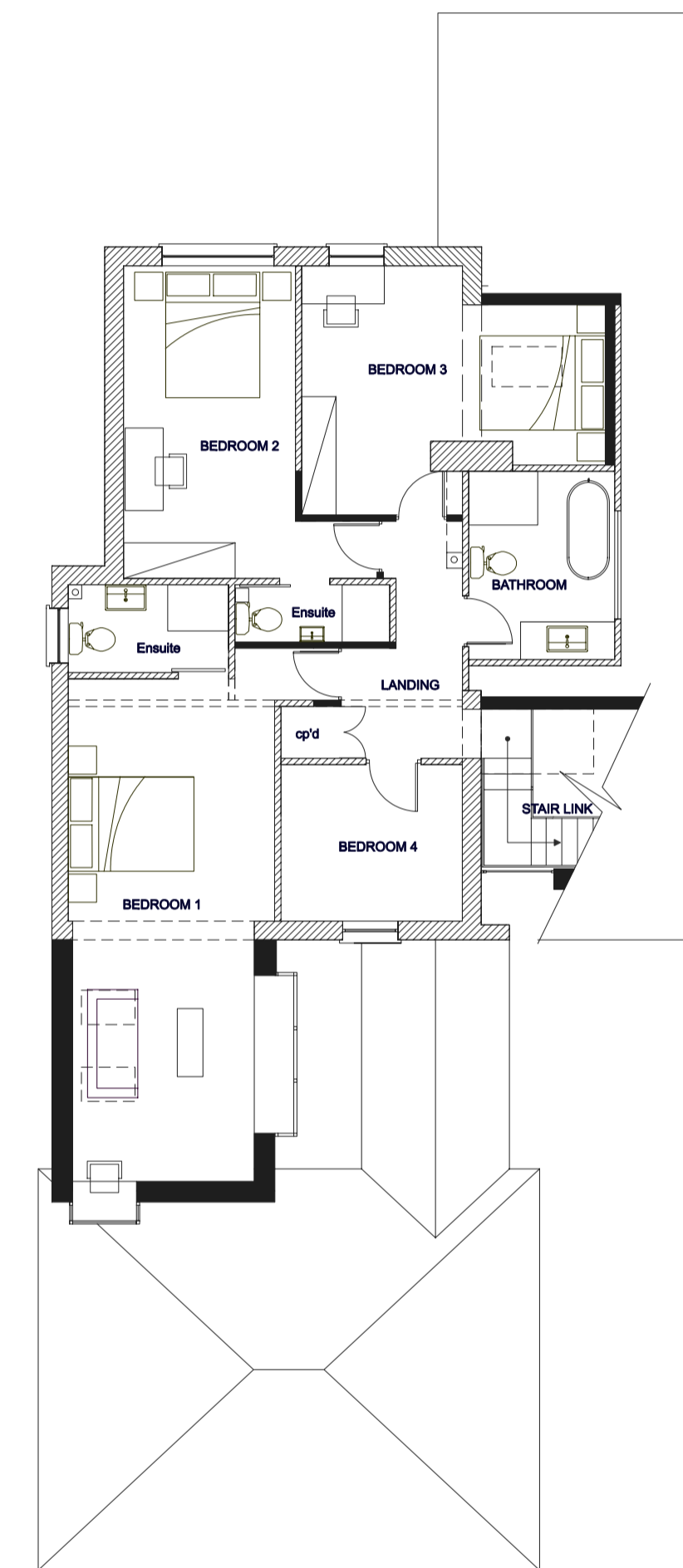
1010 Architects.
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Penarth, CF64 3EU
tel. +44(0) 029 2071 0100 email; info@1010architects.com



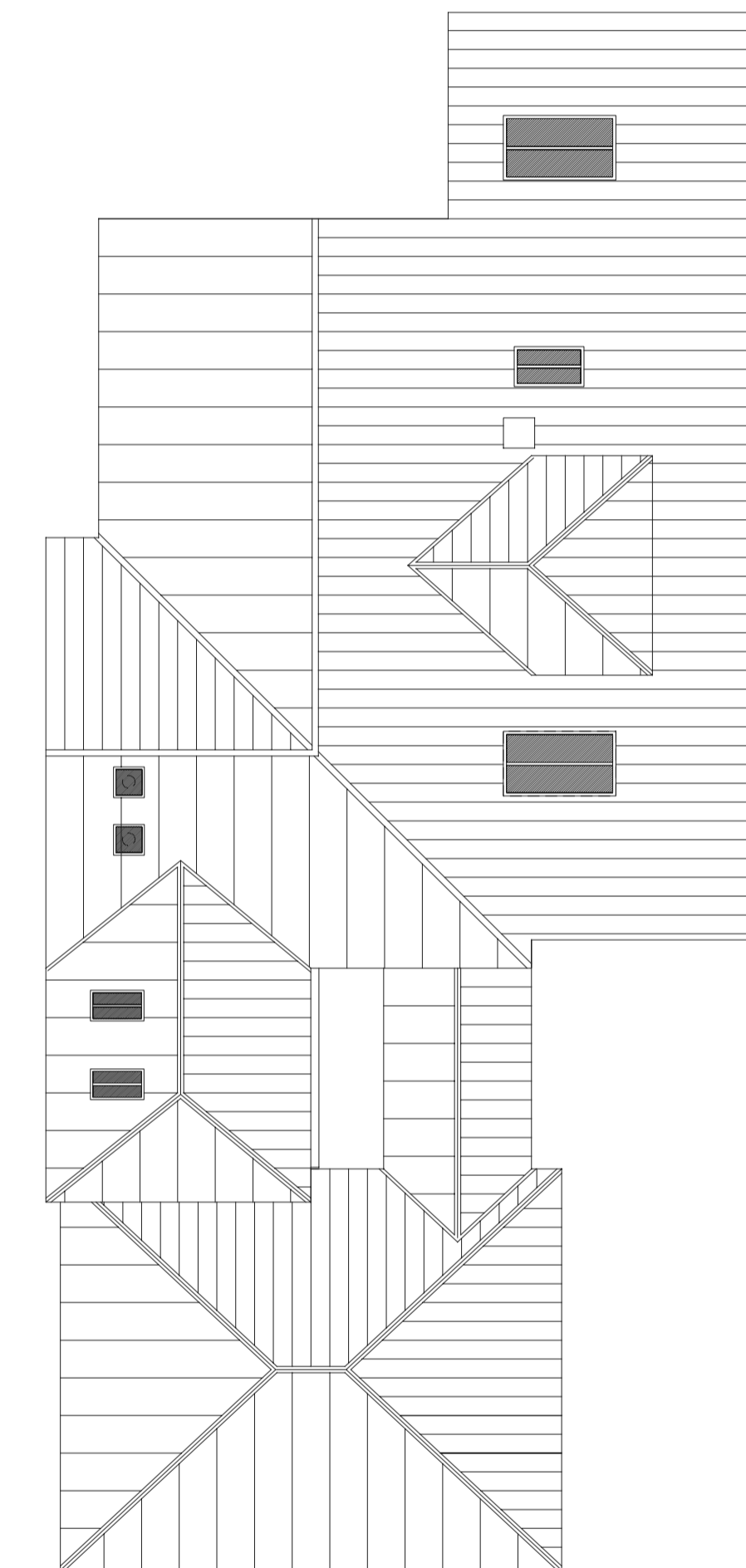
2022/00401/FUL



PROPOSED GROUND FLOOR / SITE PLAN



PROPOSED FIRST FLOOR PLAN



PROPOSED ROOF PLAN

Notes:

- Rev 1 - March 21 - Revisions and annotations made in accordance with lpa comments
- Rev 2 - March 21 - Revisions and annotations made in accordance with lpa comments
- Rev 3 - April 21 - Alettrations to layout and design in order to reflect the co-habitation requirements for the proposed works.
- Rev 4 - March 22 - Revised in accordance with planning inspectorate comments
- Rev 5 - May 22 - Revised in accordance with planning inspectorate comments

Project : Single and two storey extensions, alterations and renovations incorporating annexed co-habitation at ground floor.

Client : Mr and Mrs Markos and Markella Asprou

Job No : 1010 0275 3 The White House, Barry

Title : Proposed Floor Plans

Drawing No : AL 01

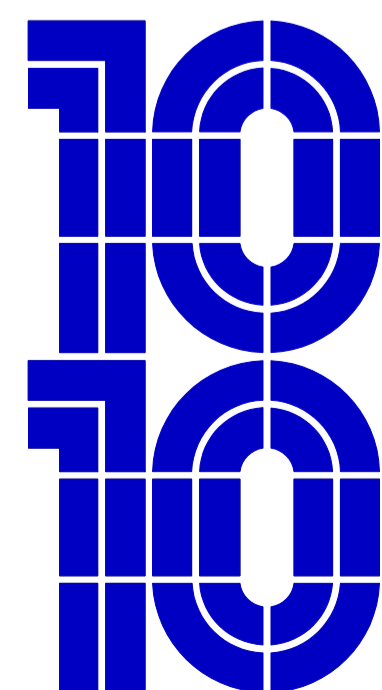
Revision

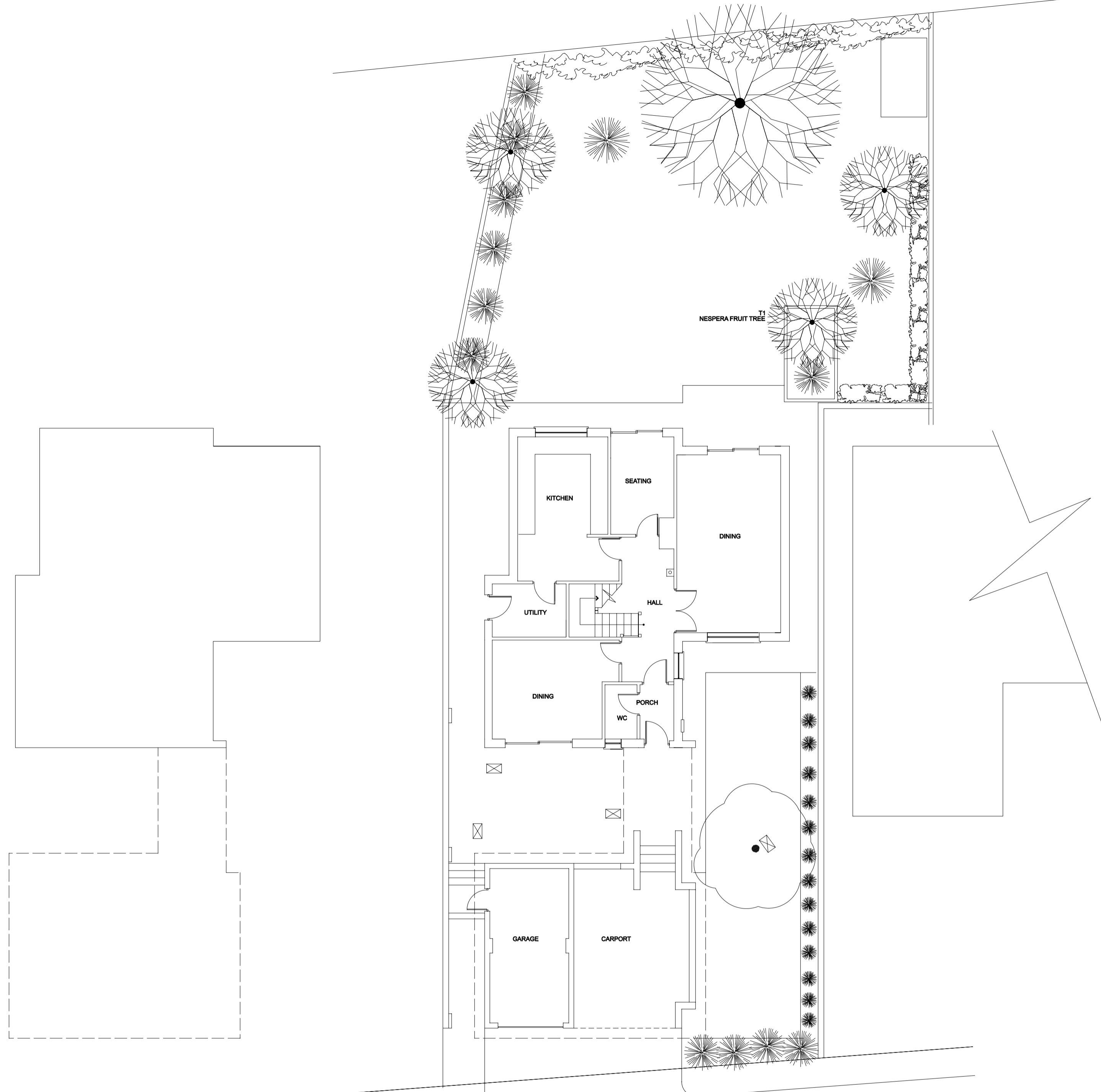
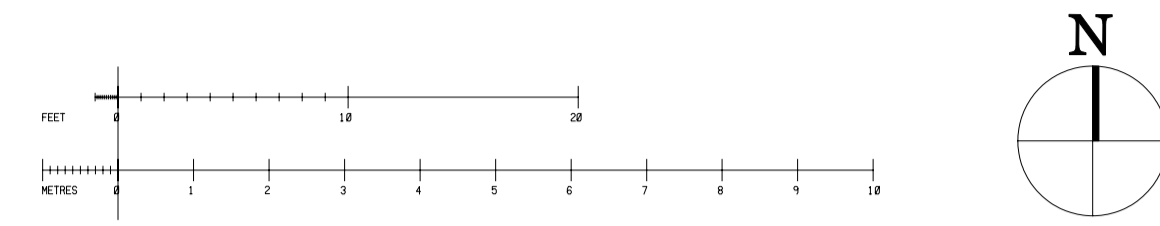
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Scale	Date	Drawn	Checked
1:100 @ A1 1:200 @A3	Jan 21	CAD	AA

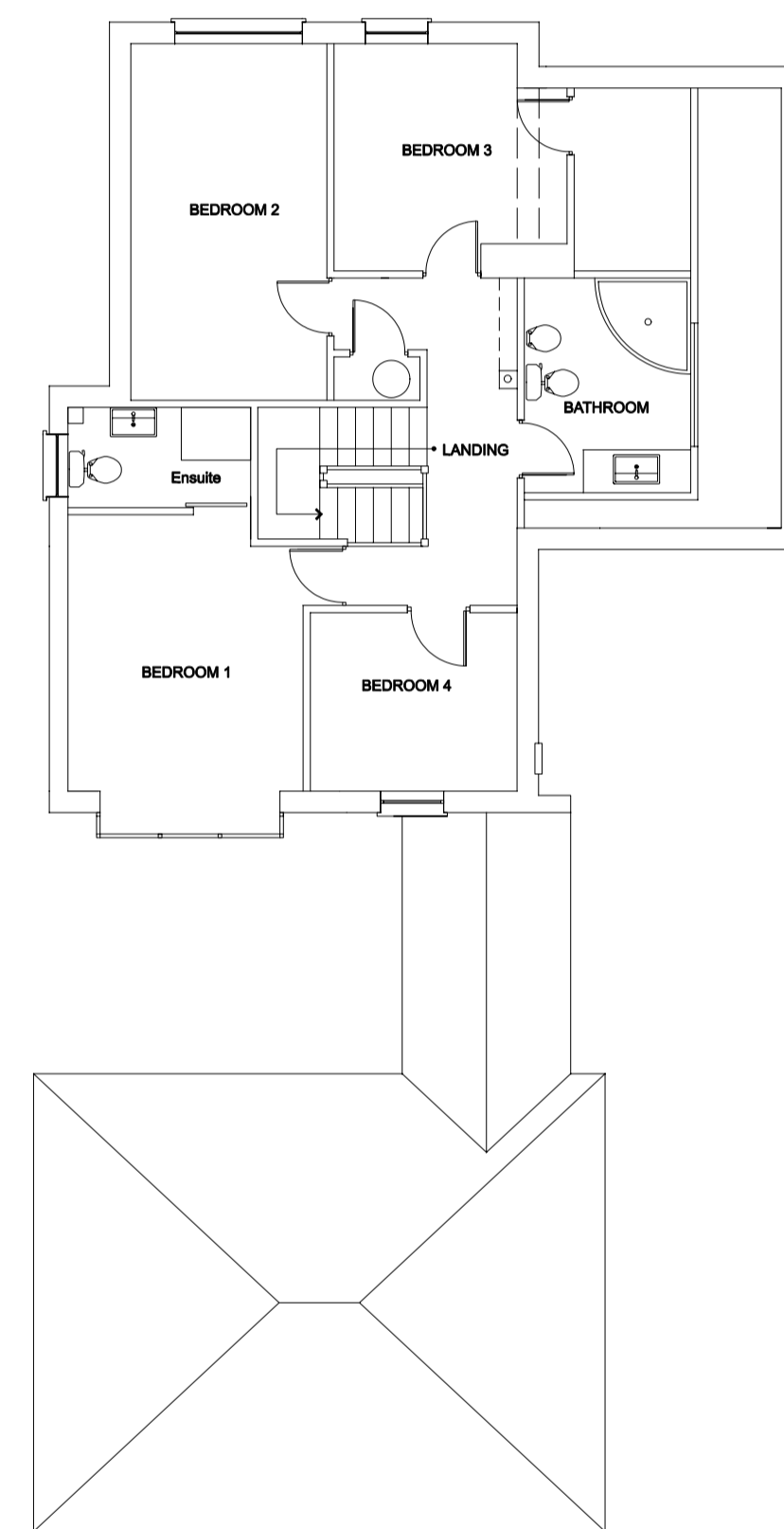
PLANNING

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 Penarth, CF64 3EU
 tel. +44(0) 029 2071 0100 email; info@1010architects.com

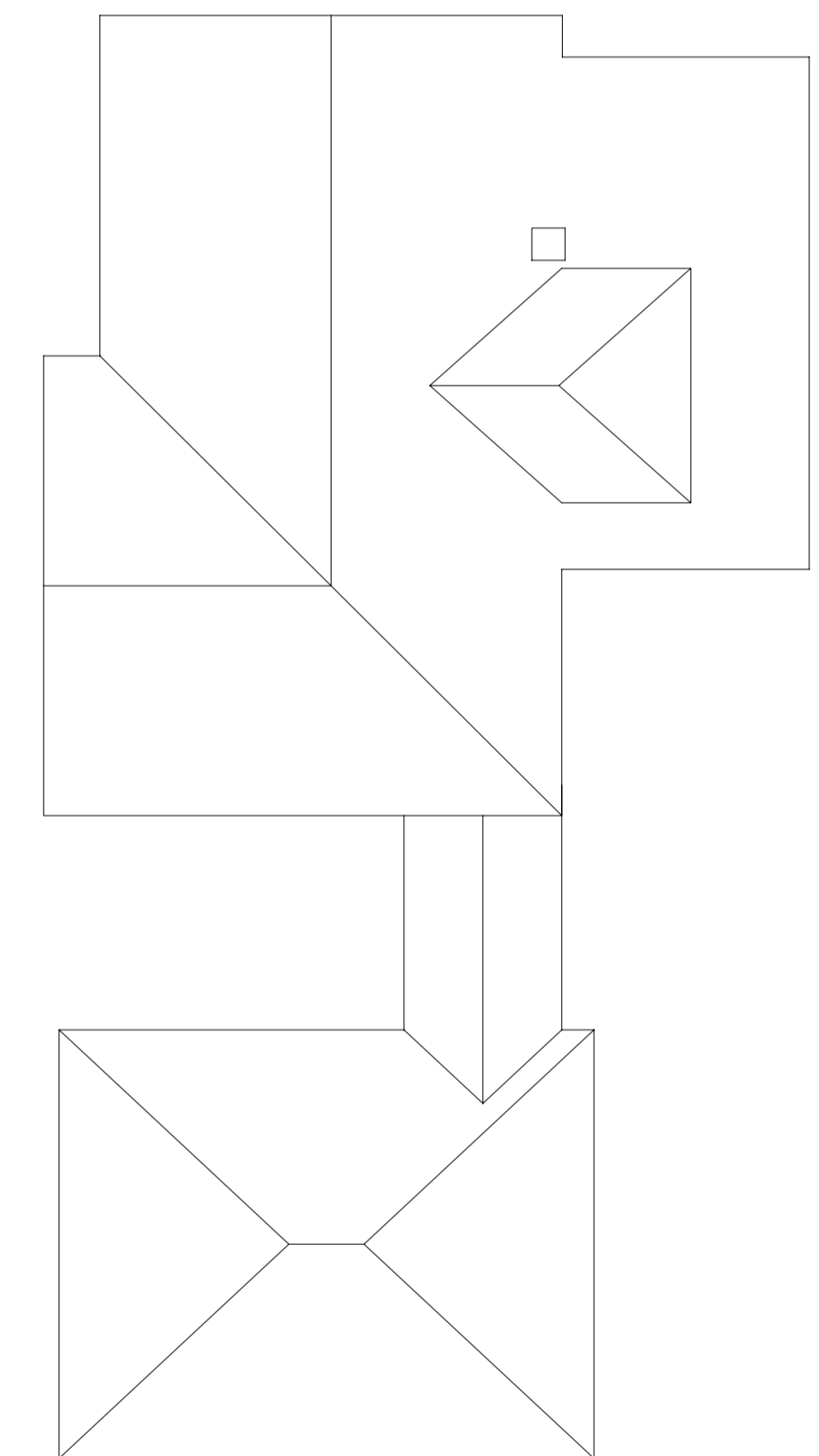




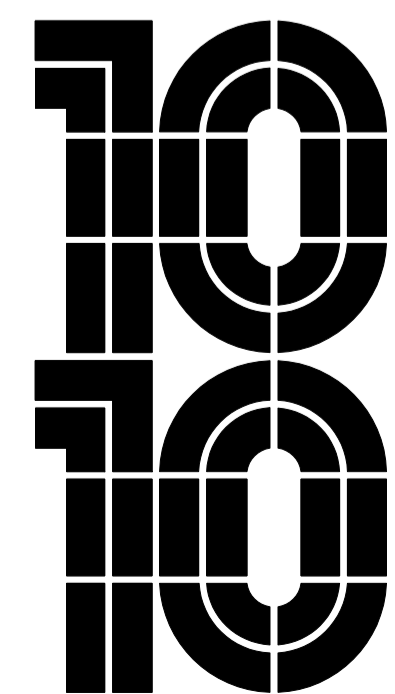
EXISTING GROUND FLOOR / SITE PLAN



EXISTING FIRST FLOOR PLAN



EXISTING ROOF PLAN



Notes:
Rev 1 - March 21 - T1 tree located that is to be removed as part of the proposed development

Project : Single and two storey extensions, alterations and renovations

Job No : 1010 0275 3 The White House, Barry

Title : Existing Floor Plans

Client : Mr and Mrs Markos and Markella Asprou

Drawing No : EL 01

PLANNING

Revision

1							
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Studio 2
The Coach House, Stanwell Road
Penarth, CF64 3EU
tel. +44(0) 029 2071 0100 email; info@1010architects.com

Scale 1:100 @ A1 1:200 @ A3
Date Jan 21
Drawn CAD
Checked AA

- **INTRODUCTION**

The following report recognises the significance of the proposed sites context, located within the Barry Marine Conservation Area. Our report will set out the core Conservation Principles that have been observed and adhered to as part of our development proposals and design principles for the extensions and home improvements of 3 White House when considering the visual impact on the immediate context. In order that the impact of change to an are of aesthetic interest can be fully understood.

Our goal at 1010 architects is to make positive changes to the existing charm of the properties context with good design and the sensitive, considered use of materials that reflect and compliment the existing architectural vernacular.

- **THE SITE ASSET, CONTEXT and SIGNIFICANCE**

Located within a cul-de-sac of similar type of houses, the property forms part of the of the initial phase of housing development that replaced a large and significant manor house and the surrounding grounds, that was known as The White House. The initial housing development constructed in the early to mid 1980's consists of thirteen separate four bedroom detached houses, of which there are three house types positioned sporadically around the site.

The design of The White House has a distinctive and consistent aesthetic across each house type, with use of material, style and colour. That are predominately white render, slate pitched roofs, dark frame timber windows, and black timber fascia, soffits and wall cladding. Design features of note, and consistent with the development are the projecting window bays and deep roof overhangs.

The site was subsequently developed further with a number of terraced properties to the eastern boundary of the site (known as the Fishermans Cottages) and larger detached bespoke single dwellings to the southern edge of the site. All of which have incorporated the design ethos of the original White Houses.



View of White House from street entrance via Cold Knap Way



Projecting window bay feature



Deep soffit Feature



- **PROPOSED CHANGES**

Our proposals to 3 White House seek planning permission for the single storey extensions to the eastern and northern parts of the house, and a two storey extension to the southern element of the house facing the street. For reasons of future sustainability, general home and living improvements concurrent with modern living standards.

DESIGN AND VISUAL IMPACT CONCLUSION

The design incorporates the existing pallet of materials and design features of the White Houses that are highlighted in this report, whilst respecting the scale and massing of the original structure.

The proposed extensions are sympathetic to the house that follow the existing roof pitches at single storey and are reduced in scale at two storey level in order to maintain the appreciation of the original house.

Our objective is to create an architectural scheme which reads well as a property, within its context and has the attributes that will visually enhance the environs of the conservation area and its immediate context.

MD2 Design of New Developments of the Vale of Glamorgan Local Development Plan 2011-2026 states that in order to create high quality, healthy, sustainable and locally distinct places development proposals should:

1. Be of a high standard of design that positively contributes to the context and character of the surrounding natural and built environment and protects existing features of townscape or landscape interest.
 2. Respond appropriately to the local context and character of neighbouring buildings and uses in terms of use, type, form, scale, mix and density.
- Policy MD5 Development within Settlement Boundaries states that new development within settlements will be permitted where the proposed development;
1. Makes efficient use of land or buildings
 2. Is of a scale, form, layout and character that is sympathetic to and respects its immediate setting and the wider surroundings and does not unacceptably impact upon the character and appearance of the locality
 3. The proposal would not result in the loss of natural or built features that individually or cumulatively contribute to the character of the settlement or its setting.



2022/00401/FUL



Site Picture 1: Applicants' property taken from the rear garden facing the rear of the property.



Site Picture 2: Eastern Boundary with number 5 White House.



Site Picture 3: Front courtyard area facing the western boundary towards number 1 White House.



Site Picture 4: View of the application property (arrowed in red) from the street scene.



Site Picture 4: View from applicants' front garden facing the front/side elevation of property.



Site Picture 5: View from applicants' property facing south-east towards the streetscene and neighbouring property; 5 White House.



Site Picture 6: Picture from applicants' property eastwards facing neighbouring property – 5 White House.



Site Picture 7: Boundary from the front elevation of the applicants' property and neighbouring property number 5 White House.



Site Picture 8: Outlook of the front elevation of the applicants' property (marked in red) from front garden of neighbouring property – 1 White House.



Site Picture 9: Outlook of the applicants' property from front/side garden at neighbouring property – 1 White House.