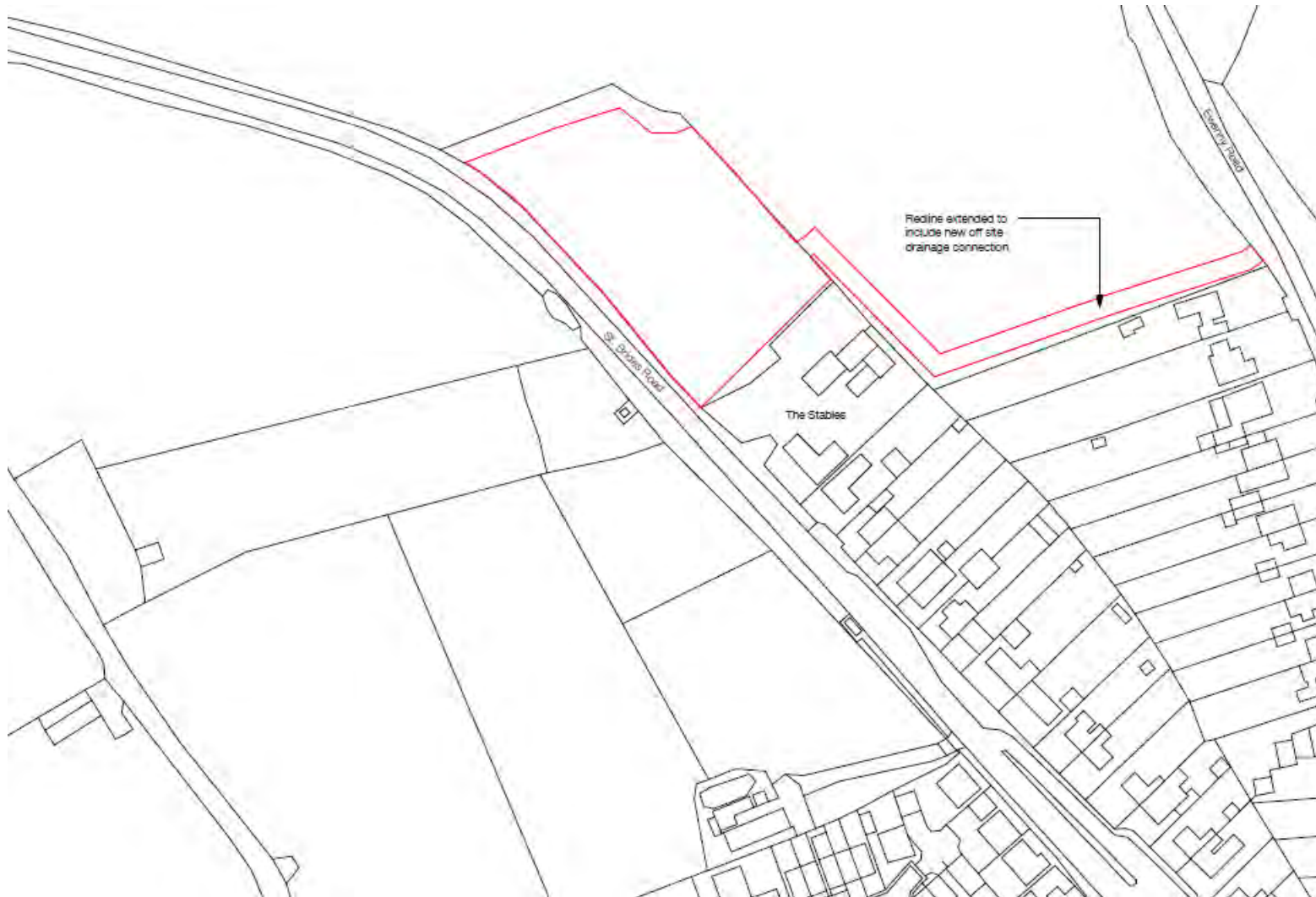


Site Location



Proposed Site Layout



Proposed access – model extract (note: hedge length changed per site layout plan)



2021/01081/FUL – Land at St. Brides Road, Wick

Type 9 elevations (Plots 16/17 semi-detached)



Type 9 - Front elevation

1:50

Schedule of materials

- 1 Blue / grey terracotta flat roofed roof tiles.
- 2 White PVCu finish.
- 3 Black PVCu aluminium gutter.
- 4 Light grey stone cladding to entrance.
- 5 Traditional white render with red window frames and door frame.
- 6 White painted concrete steps to door.
- 7 Traditional white stone cladding to entrance.
- 8 Composite door with UPVC window frame and UPVC door frame.
- 9 UPVC door handles.



Type 9 - Side elevation 1

1:50



Type 9 - Rear elevation

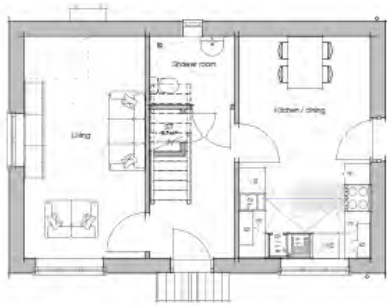
1:50



Type 9 - Side elevation 2

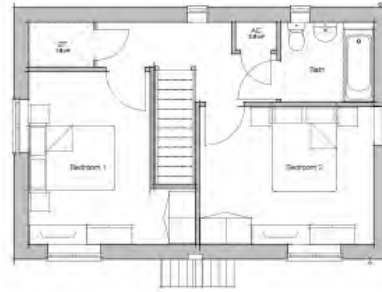
1:50

Type 1 plans (Plot 1 detached)



Type 1 - Ground floor plan
1:50

2 bedroom 4 person house
83m² GIA



Type 1 - First floor plan
1:50



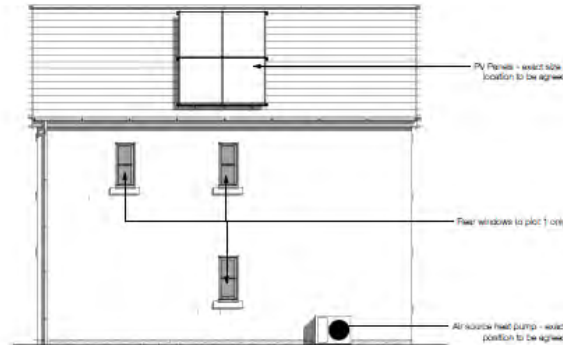
Type 1 - Side elevation 1
1:50

Schedule of materials:

1. Blue / grey (terracotta flow cement) roof tiles
2. White uPVC fascias
3. Black uPVC window gills
4. Agate grey uPVC external window frames
5. Portland cement render above window heads / cills & decorative stone
6. White painted roughcast render on sides
7. Redstone (with grey terracotta) coursed stone masonry chimneys
8. Composite front doors with glass panels (no-recessed PVC) colours to be agreed
9. GFRP Down pipes



Type 1 - Front elevation
1:50



Type 1 - Rear elevation
1:50



Type 1 - Side elevation 2
1:50

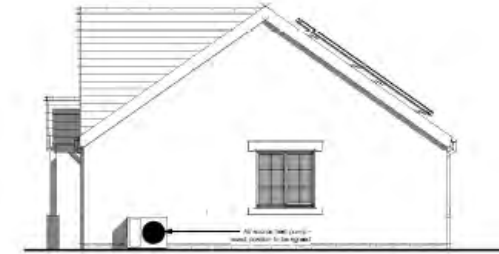
Type 5 plans (Plots 6 & 7, semi-detached bungalow)



Type 5 - Front elevation
1:50



Type 5 - Side elevation 1
1:50



Type 5 - Side elevation 2
1:50

Schedule of materials

1. Blue / grey freestone fibre cement roof tiles
2. White uPVC fascias
3. Stone effect rendered gables
4. Agate grey uPVC casement windows
5. Portland colour porcelain aluminium window heads / side & decorative opens
6. White uPVC reinforced plastic for doors
7. 2x extruded aluminium factory coated steel window frames
8. Composite front doors with uPVC panels. Four glazed, 2x6, inset & 2x6 inset
9. GFC door handles



Type 5 - Ground floor plan
1:50

PV Panels - exact size / location to be agreed



Type 5 - Rear elevation
1:50

Notes

Do not make any alterations to this drawing without the consent of the architect. The architect is not responsible for any errors or omissions. Any discrepancies with the original plan to be corrected at the client's expense.

CHAMBER

Site No
Plot No
Client
Project
Land off St
Project number
Client
Title
Drawing number

Type 7 elevations (Plots 8-11, flatted block)



Type 7 - Front elevation
1:50

Materials of materials

1. Blue/white ceramic tiles, ceramic floor tiles
2. White PVC window frames
3. Stone/brick exterior finish
4. White PVC door frames
5. White PVC door frames
6. White PVC door frames
7. White PVC door frames
8. White PVC door frames
9. White PVC door frames
10. White PVC door frames



Type 7 - Side elevation 1
1:50



Type 7 - Rear elevation
1:50



Type 7 - Side elevation 2
1:50

Site photograph 1 – approach to site from Wick



2021/01081/FUL – Land at St. Brides Road, Wick

Site photograph 2 – highway verge and hedge forward of The Stables



2021/01081/FUL – Land at St. Brides Road, Wick

Site photograph 3 – site interior



Site photograph 4 – site interior



2021/01081/FUL – Land at St. Brides Road, Wick

Site photograph 5 – site interior (northern hedgerow)



Site photograph 6 – site interior (western copse)



2021/01081/FUL – Land at St. Brides Road, Wick

Site photograph 7 – partial site frontage off St Brides Road



2021/01081/FUL – Land at St. Brides Road, Wick

Site photograph 8 –site frontage off St Brides Road



2021/01081/FUL – Land at St. Brides Road, Wick



Number **R419-00 A4**

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2021/01710/FUL

REVISIONS	
-	-



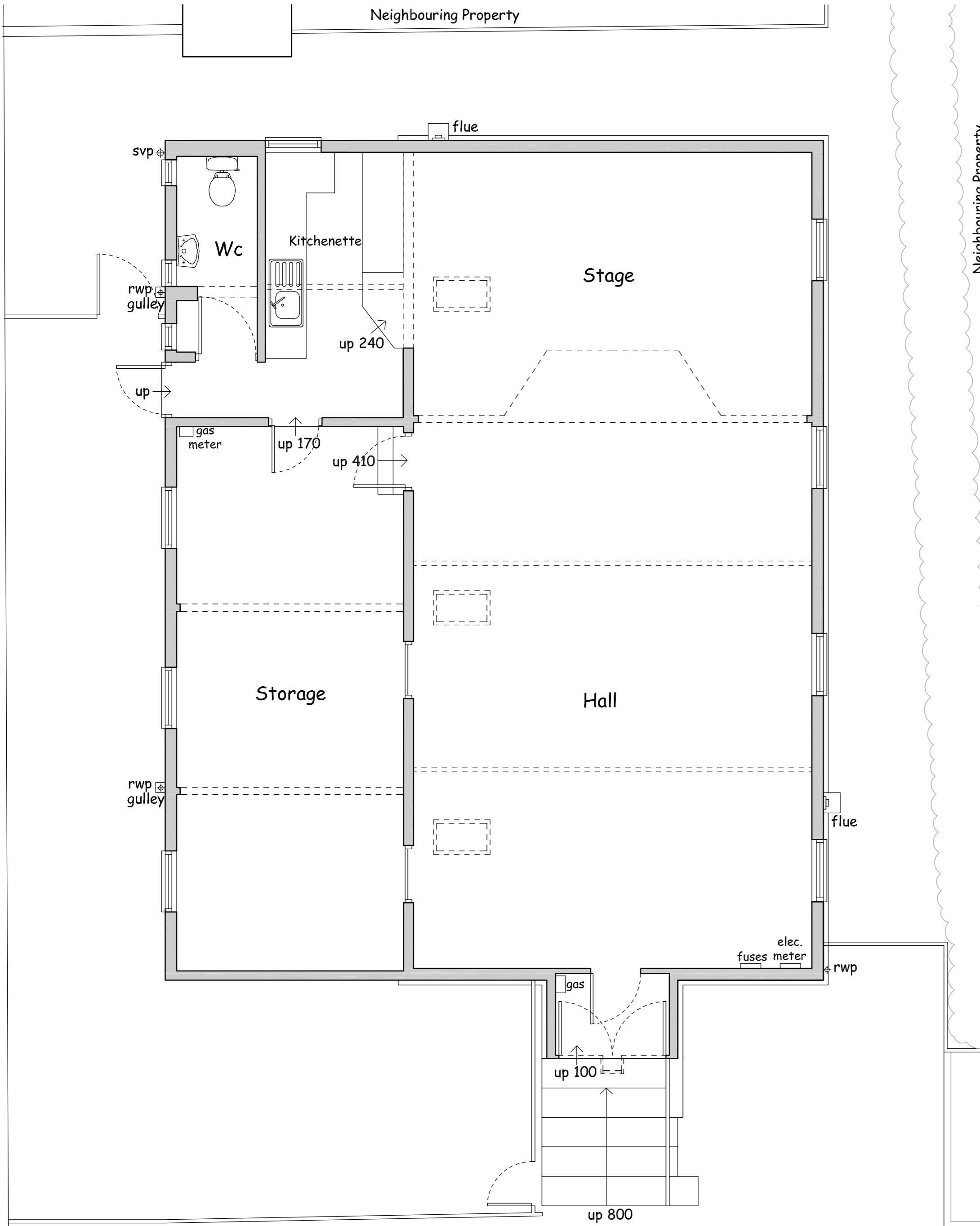
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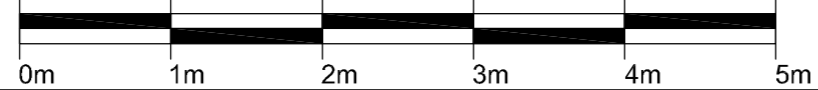
Drawing **SITE LOCATION PLAN**

Number **R419-00 A4**

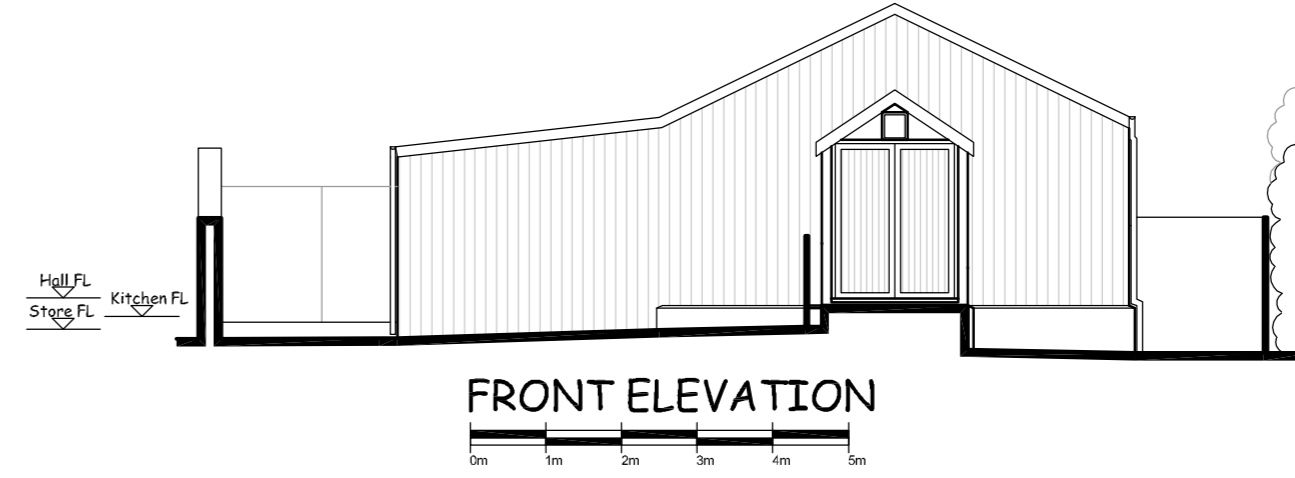
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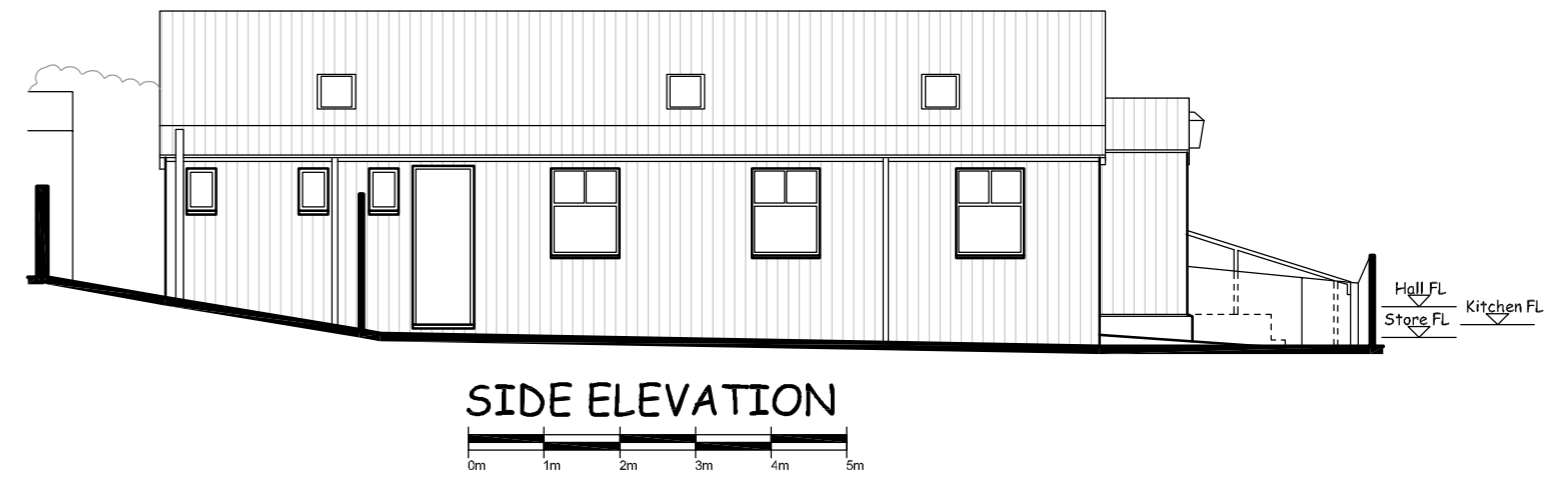
GROUND FLOOR PLAN



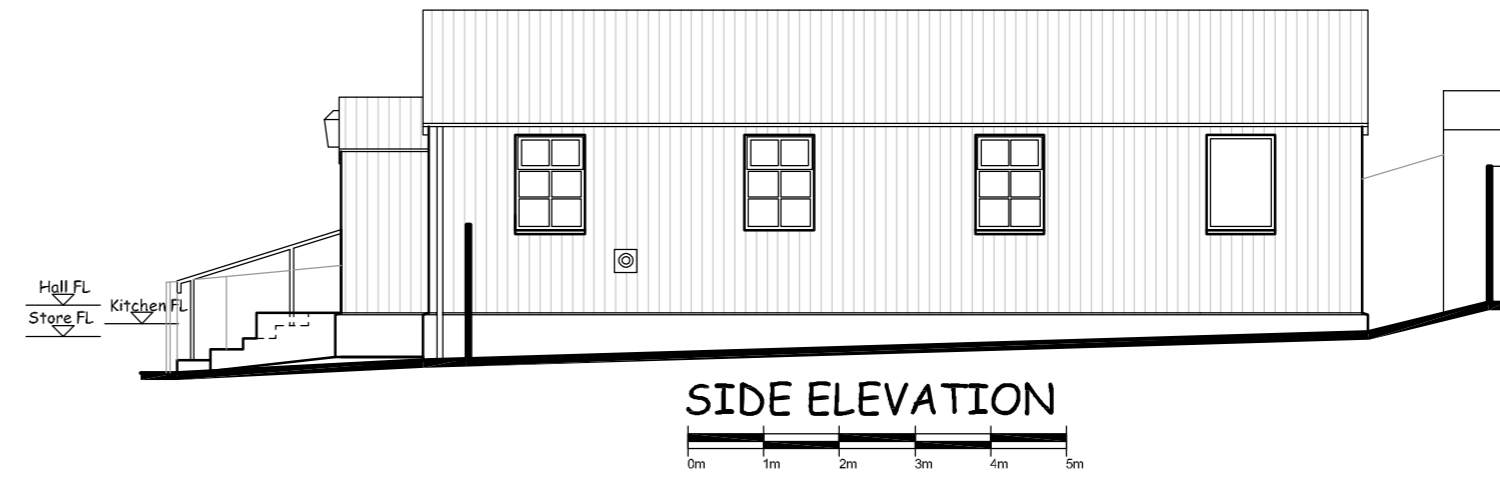
2021/01710/FUL



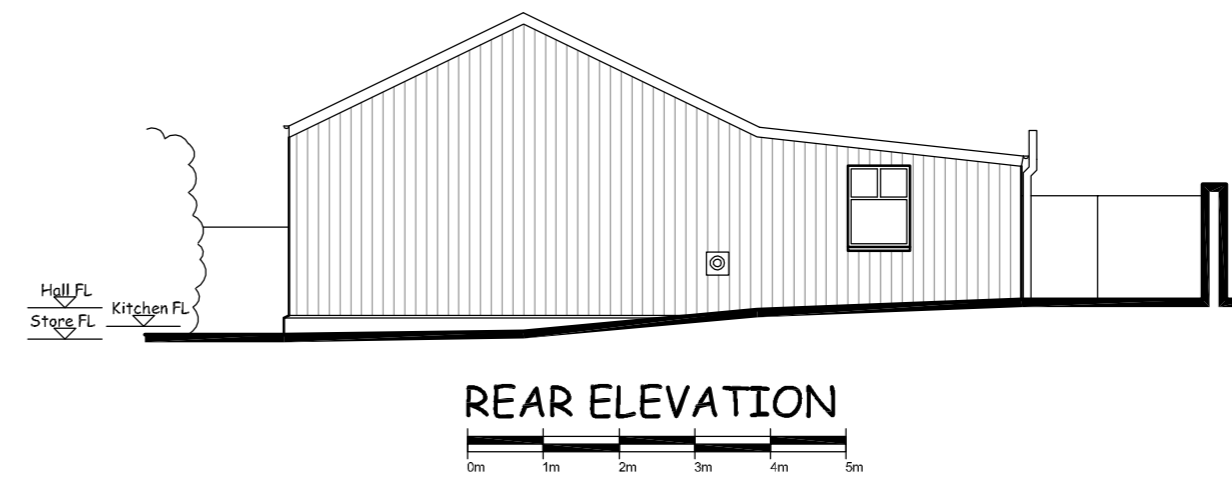
FRONT ELEVATION



SIDE ELEVATION



SIDE ELEVATION



REAR ELEVATION

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EXISTING MATERIALS:
WALLS: WHITE CORRUGATED METAL,
BLACK RENDERED PLINTH
ROOF: BLACK CORRUGATED METAL
WINDOWS: WHITE PAINTED TIMBER
DOORS: BROWN AND WHITE
PAINTED TIMBER
RAINFATHER PIPE: GREY PLASTIC

NO.	REVISIONS

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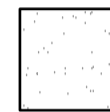
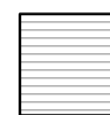

Drawing EXISTING PLANS
AND ELEVATIONS

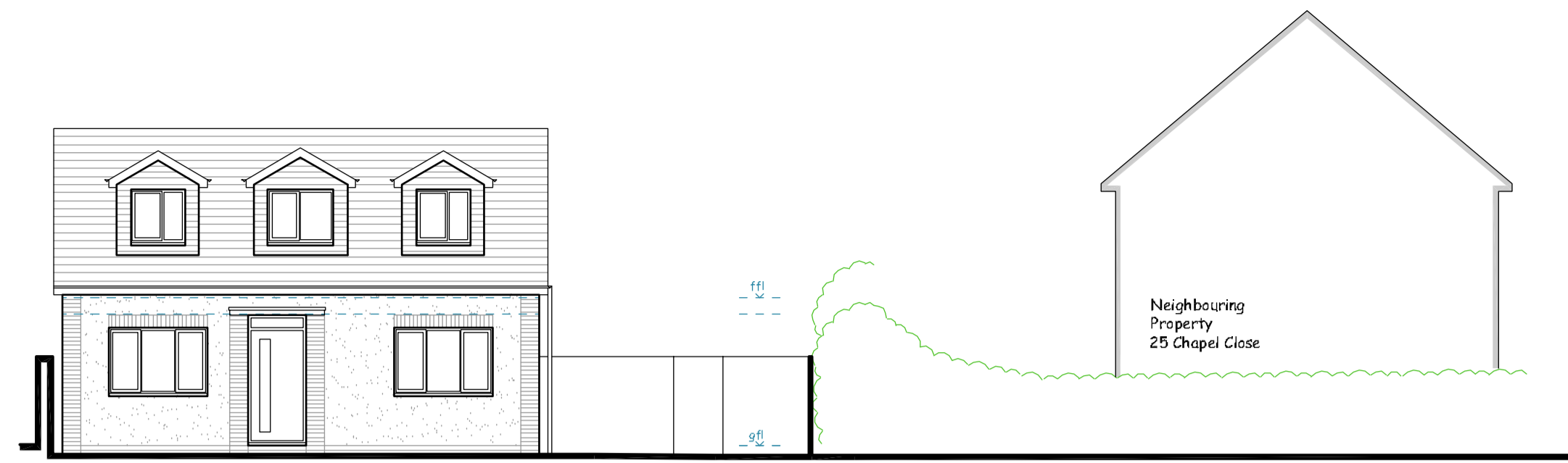
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Scale 1:50 Date 03/19 Drawn CT Checked

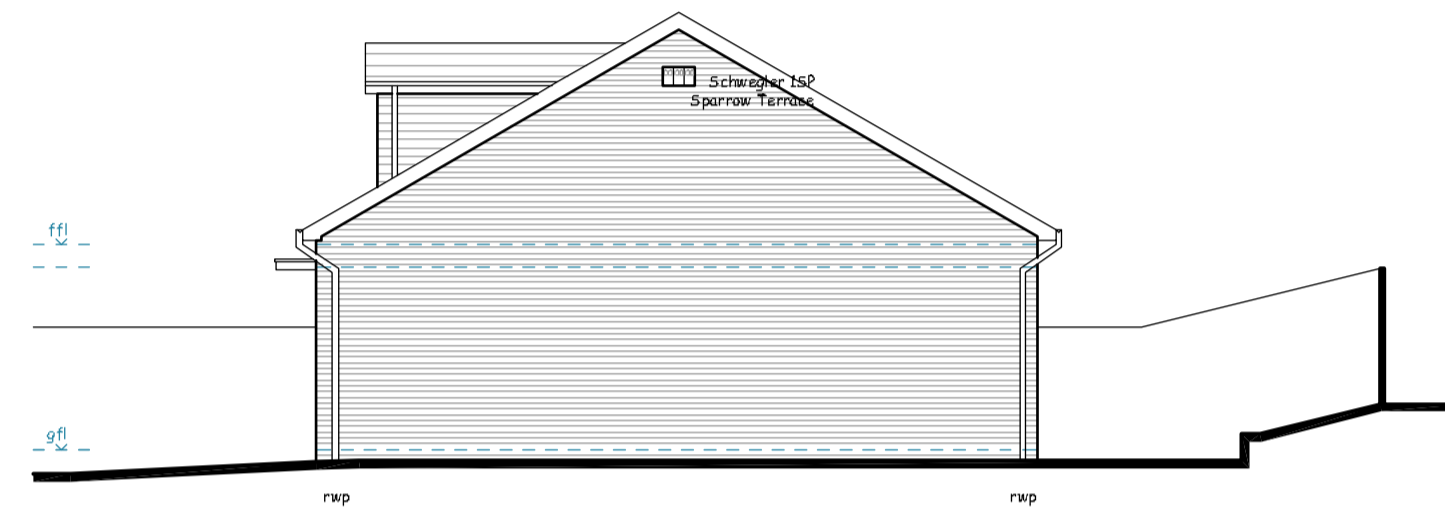
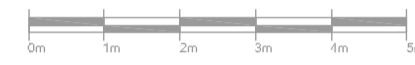
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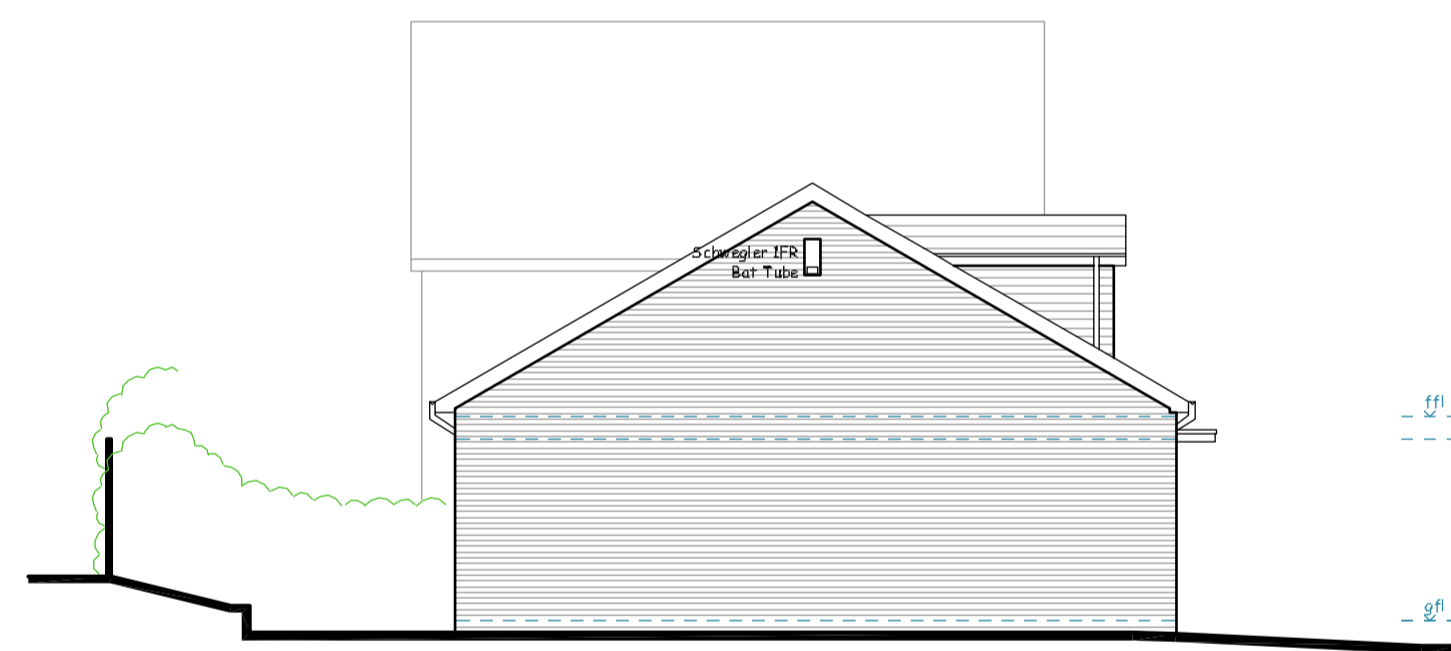
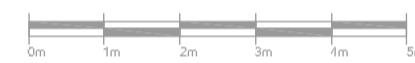
-  Dark Grey
Roof Tiles
-  Off White
Render
-  Heritage
Red Bricks
-  Western Red
Cedar Cladding



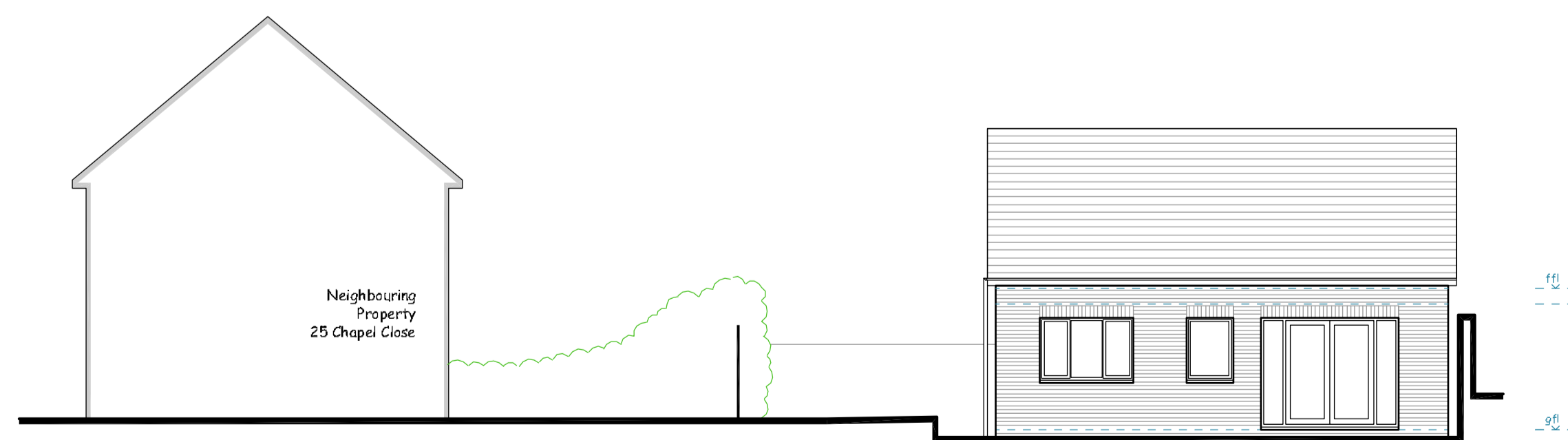
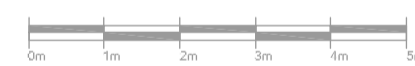
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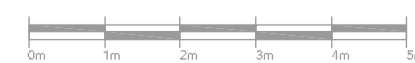
Side Elevation



Side Elevation



Rear Elevation



NO.	REVISIONS

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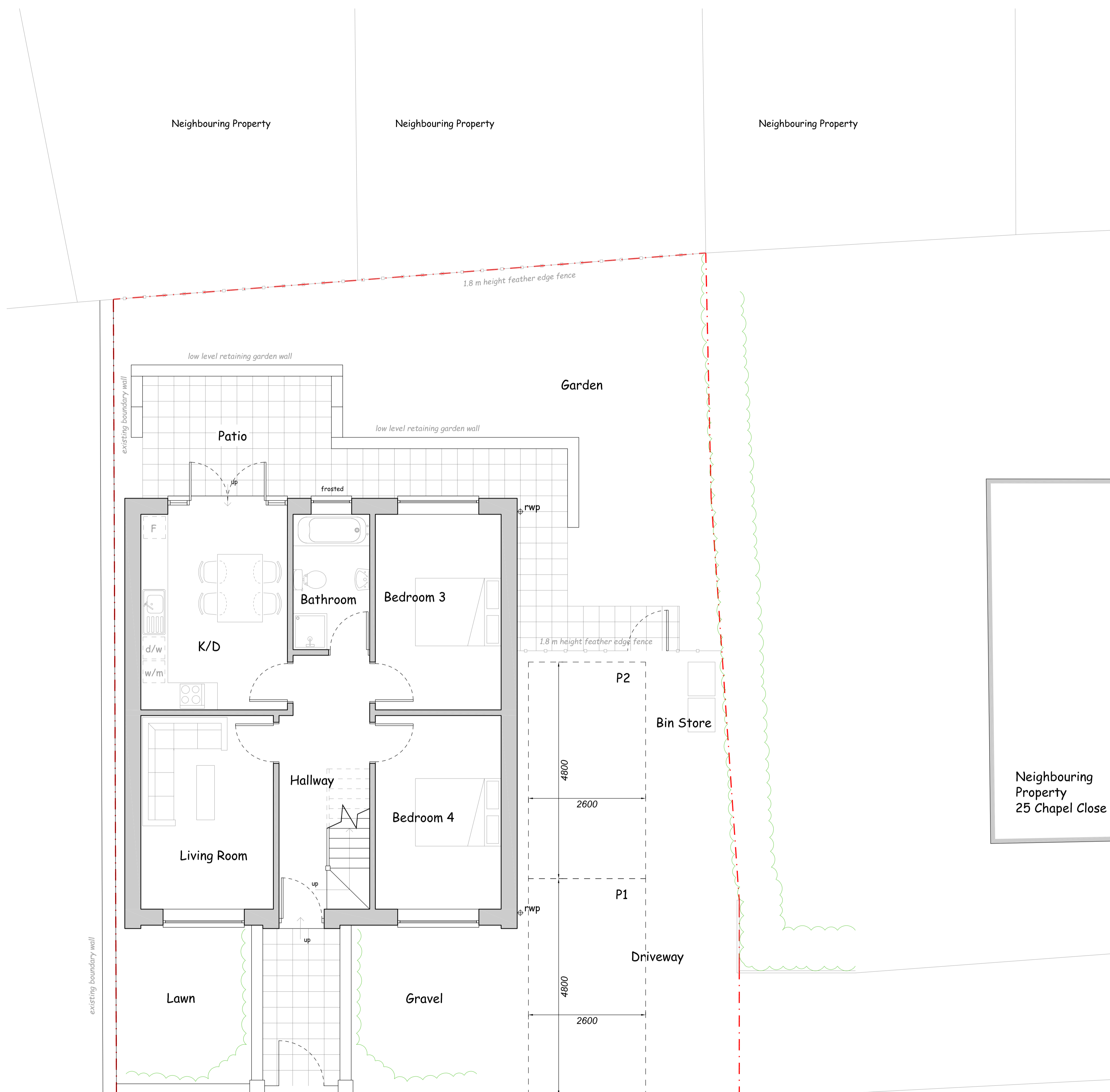
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AND 3D VIEWS**

Number **R523-03 A1**

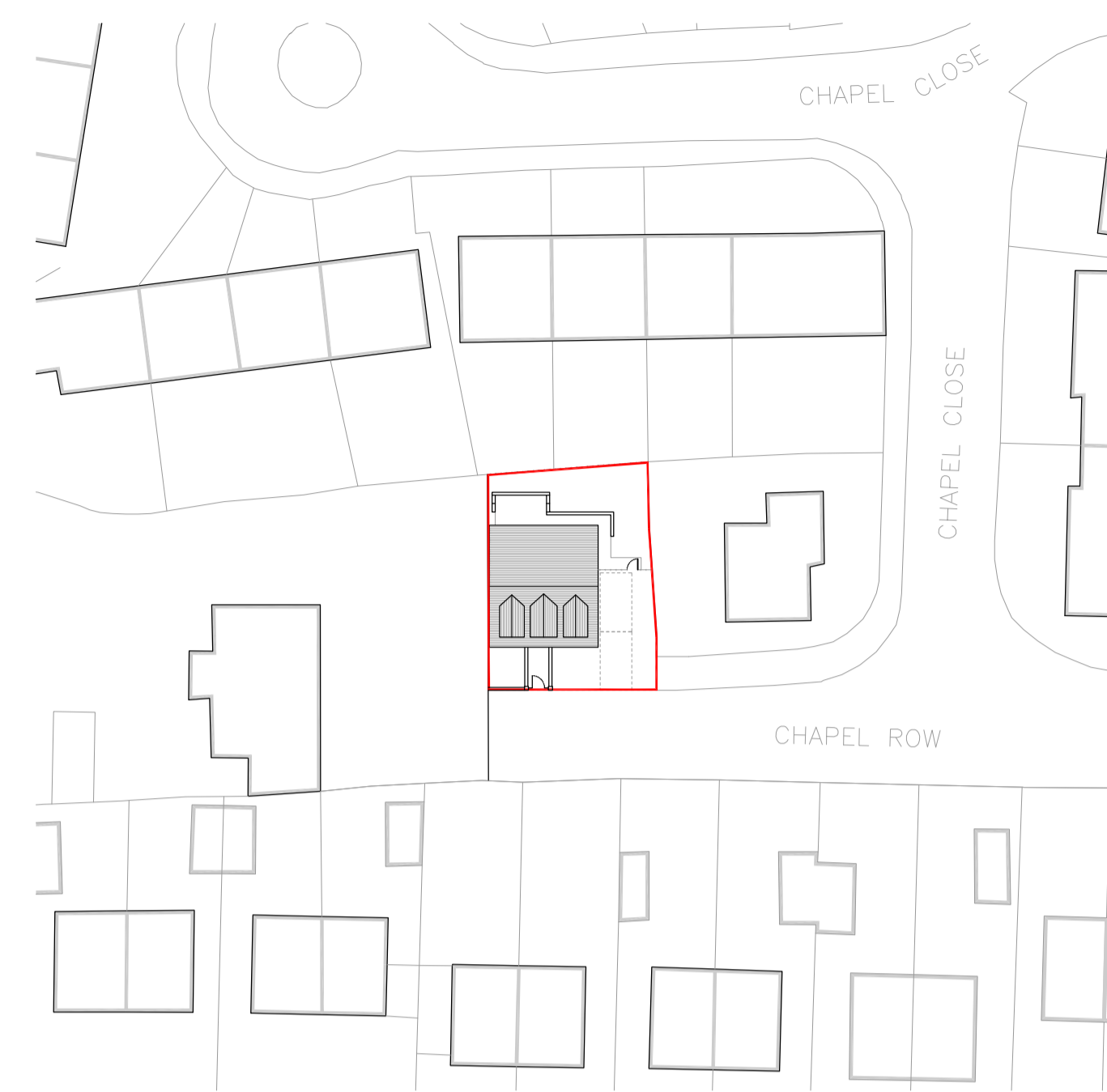
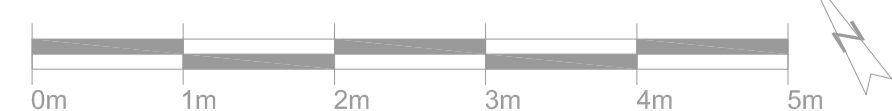
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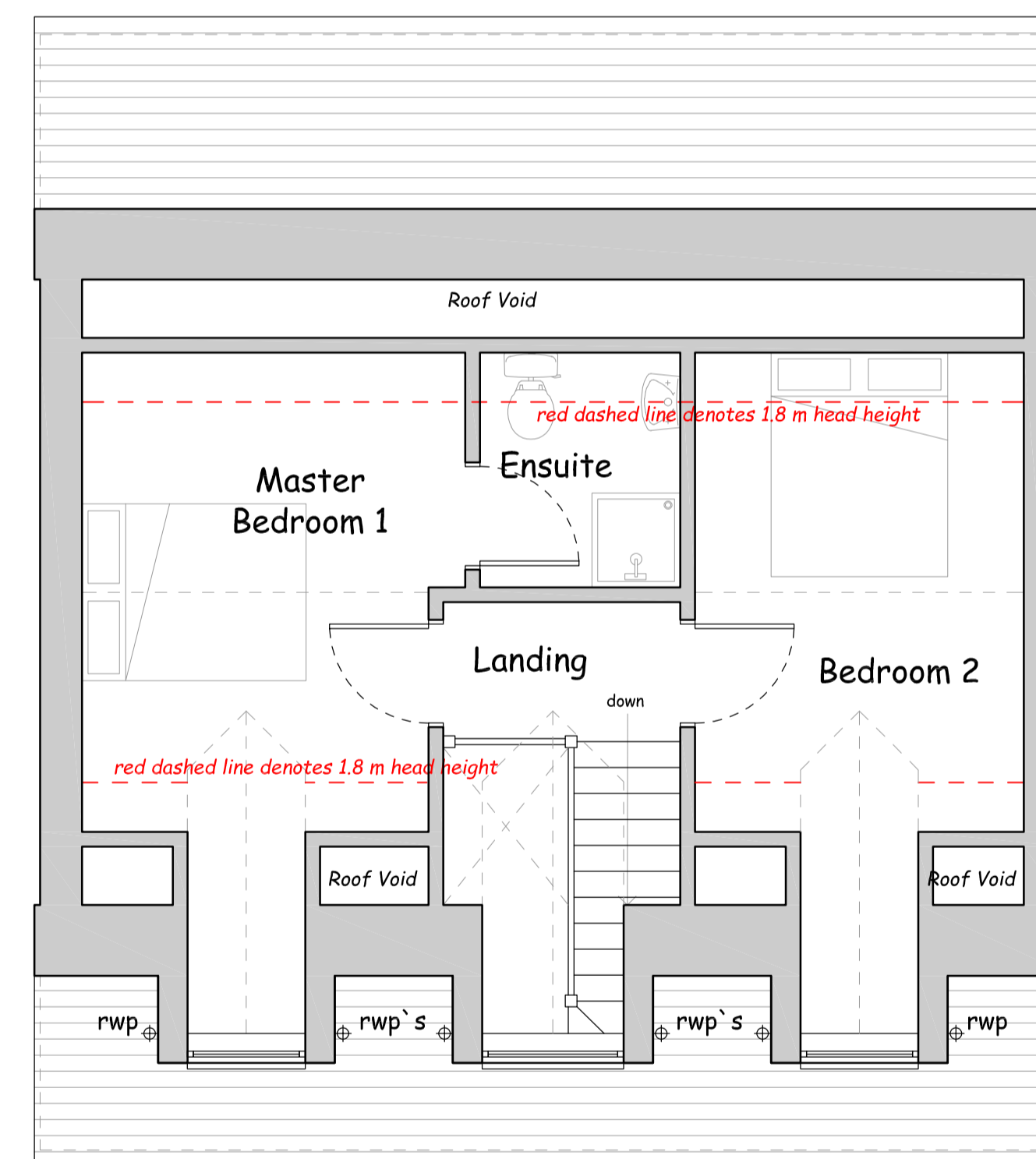
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Ground Floor Plan



2021/01710/FUL



First Floor Plan



REVISIONS		
A	Red line	14/03/22
B	Parking	23/09/22

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Job **CHAPEL ROW, DINAS POWYS, CF64 4LD**

Drawing **PROPOSED PLANS**

Number **R523-02 A1**

Scale	Date	Drawn	Checked
1:500	09/2022	AM	LS

23/09/2022 09:10:46 L:\RA_Architects\RA4 Projects\R523 Former Chapel Dinas Powys\CAD\523-02 Planning.dwg - ISO A1



View of front elevation of Chapel



View south along Chapel Row



View of side boundary with Oakleigh 4 Chapel Row (To the west/north-west)



View of side boundary with Oakleigh 4 Chapel Row (To the west/north-west)



View of rear boundary with properties to rear in Chapel Close



View of side boundary with 25 Chapel Close



View from highway to the front of 25 Chapel Close

- KEY:**
- Planning application boundary
 - Site boundary in WWHA ownership
 - Site boundary in VoG ownership
 - Phase 2 outline planning application
 - Existing trees
 - Root protection areas
 - Existing trees to be removed
 - Proposed transplanted trees
 - Informal tree planting
 - Specimen/feature tree
 - Proposed amenity grass
 - Proposed shrub planting
 - Existing woodland to be retained/managed
 - Rain gardens
 - Soil bunding with species-rich wildflower
 - Native hedgerow planting
 - Shelved drainage basin to accommodate planting
 - Raised planters for vegetable growing
 - HydroPlanter Flex bioretention area
 - Asphalt road surface
 - Permeable block paving to car parking
 - Asphalt cycle path
 - Permeable surface - Type 1
 - Permeable surface - Type 2
 - Permeable surface - Type 3
 - Permeable surface - Type 4
 - Pedestrian block paving
 - No dig/minimum dig cellular confinement system
 - Indicative cycle path exit route
 - Seating with back and armrests
 - Indicative swales/conveyance channels
 - Garden Shed
 - Collapsible bollards
 - Grasscrete permeable paving
 - Proposed retaining wall

NOTES:

NOT FOR SITE PURPOSES: This drawing is a general arrangement plan only and is not intended for site purposes.

SCALE: Do not scale from this drawing.

SETTING OUT: All setting out, levels, dimensions to be agreed on site. Do not use the information on this drawing without checking all dimensions on site. Any discrepancies between drawings, specifications and site works are to be reported to The Urbanists. Order of construction and setting out is to be agreed on site.

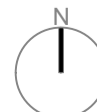
CHECK: This drawing must be the latest revision, read in conjunction with all other drawings, details, specifications and schedules. All dimensions are in millimetres unless otherwise stated. Where a contradiction or uncertainty arises between the drawings and/or the schedule of works, it is the contractor's responsibility to seek verification from The Urbanists before proceeding. No claims will be met by The Urbanists, where the contractor continues work in absence of such confirmation.

No.	Date	By	Revision Notes
P09	21/09/2022	GC	Amendments to reflect revised drainage strategy.
P10	23/09/2022	GC	Outline application area layout updated.
P11	26/09/2022	GC	Outline application boundary amended.

PROJECT STATUS:

S2 (SUITABLE FOR INFORMATION)

	
Client	RPA Group
Project	Extra Care Scheme, Myrtle Close, Penarth
Title	Landscape Masterplan
Project ID	1856
Organiser	URB
Volume	XX
Level	XX
Type	DR
Role	L
Class	90
Dwg	0001
Rev.	P11
Status	S2
Drawn	GC
Date	26/09/2022
Checked	JB
Scale	1:500 @ A1



Pump room to be screened with native hedgerow and shrubs

Shelved drainage basin to accommodate further planting opportunities.

Scattered seating provides quiet places for visitors to sit

Shared cycle / footpath location and surface treatment TBC

Soil from the drainage basin mounded informally to create bunding. Opportunity to seed wildflower and plant transplanted trees, simultaneously creating a wildlife haven. Bunds to be no more than 1500mm height.

Garden shed

Existing boundary trees and shrubs retained and supplemented with relocated / translocated Oak Trees from site. Exact specimens to be selected by arboriculturist.

Indicative fence line TBC

Existing vegetation to be managed as a high hedgerow

Specimen tree to define key nodes on the site.

Native tree planting with native shrub underplanting to provide a soft boundary to Oak Court.

Internal courtyard garden - see drawing 0002 for details

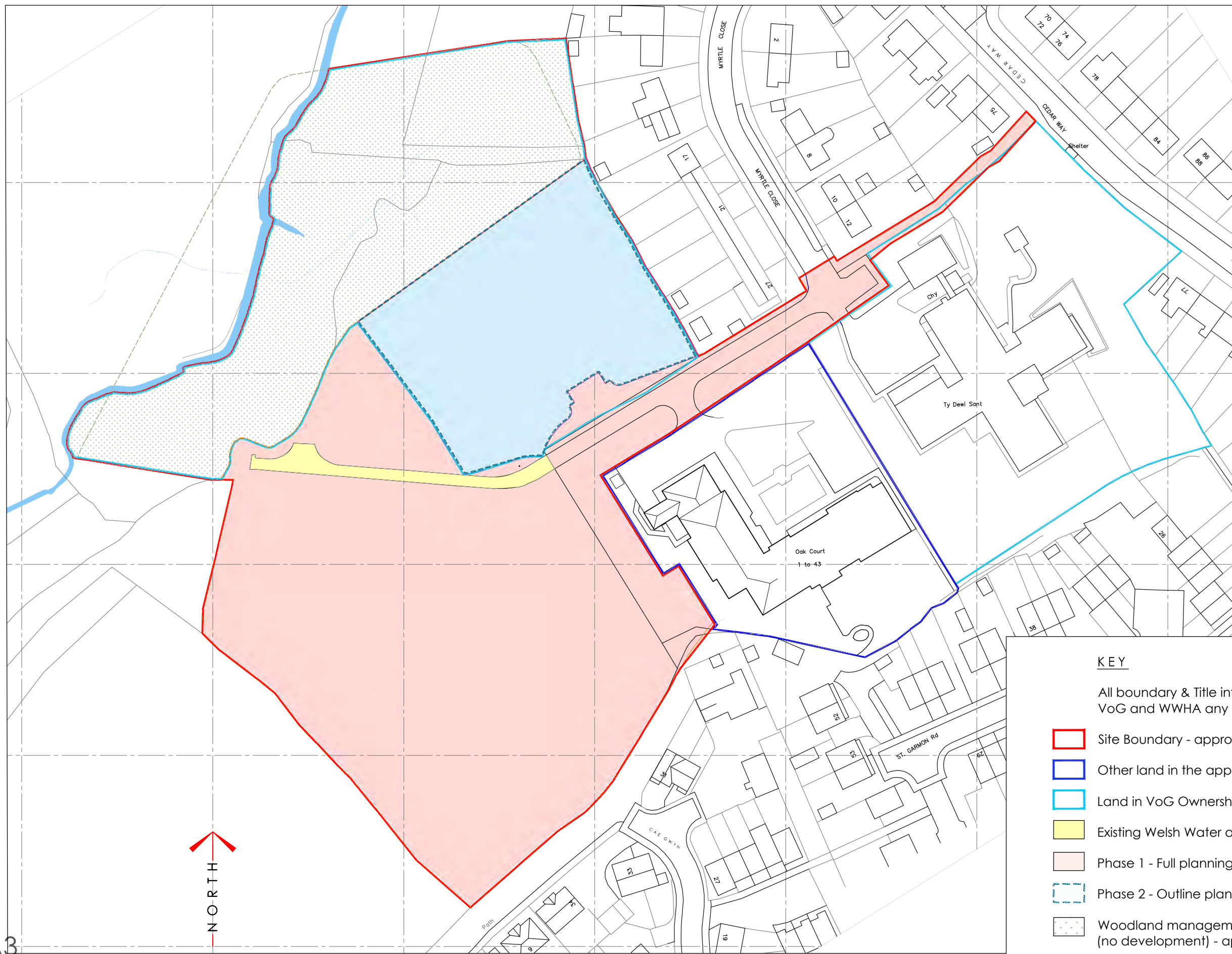
Diverse shrub and perennial planting to provide seasonal interest and enhance biodiversity. Elements of planting to include rain gardens to help sustainably manage water.

Swales help to naturally convey surface run-off water

Banked rain gardens to have two different mixes of wildflower to suit the conditions of the bank and base, which will provide an array of colour within the drainage features

Raised beds create opportunities for fruit and vegetable growing for residents.

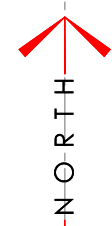
2022 00294 HYB



KEY

All boundary & Title information shown has been issued by VoG and WWHA any discrepancies to be reported to client

- Site Boundary - approx area 22,405m² /241,165ft²
- Other land in the applicant's Ownership
- Land in VoG Ownership
- Existing Welsh Water access route to pump house TBC
- Phase 1 - Full planning - approx area 12,673m²/ 136,400ft²
- Phase 2 - Outline planning - approx area 3,740m²/ 40,250ft²
- Woodland management zone in VoG ownership (no development) - approx area 5,970m²/ 64,140ft²



Original sheet size **A3**

Rev	Date	By	CHK	Description
A	17/08/22	clg		Updated following LPA comments

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Client: Wales & West HA	Project: Extra Care Myrtle Close Penarth	Drawing Title: Ownership and Phasing Plan
Drawing Status: PLANNING	Date: JAN 22	Drawn By/Checked/Director/Scale: clg JM 1:1000 @ A1
Job No: 2455	Opt. Drawing No. PL (03)103	Rev. A
BRIDGEND spring design		
Unit 2, Chapel Barns Merthyr Mawr Bridgend CF32 0LS t: 01656 656267 e: mail@spring-consultancy.co.uk		



PARAMETER PLAN KEY

- Site Boundary
- Other land in the applicant's Ownership
- Land in VoG Ownership
- Strategic Landscaping - Shared facility + Sud's
- Woodland management zone in VoG ownership (no development)
- Private Landscaped areas + Sud's
- Development zones 1-4 storeys
- Upgrade existing infrastructure - 5.5m road + tuning head for Pumphouse
- Existing Bus Stop
- ← Primary Access all modes
- ← Phase 1 Primary Access
- ← Phase 2 Primary Access
- ← Foot / Cycle Access
- ← Primary Vehicle Route
- |||| Paved Pedestrian Route - 2m wide
- VoG Proposed New 3.5m shared cycle/footpath
- Access route to Pump House in VoG ownership limited vehicle access for maintenance 3.5m wide
- ■ ■ Indicative Grass Pedestrian Routes

PARAMETER PHASE 2 - OUTLINE APPLICATION

DWELLINGS	MIN	MAX
Width of single property	5m	10m
Depth of properties	6m	10m
Height of eaves	2.1m	6m
Ridge Height	2.4m	11m
(Assuming max 45° pitch on 10m span)		

APARTMENT BLOCK	MIN	MAX
Depth of plan	11.5m	19.5m
Length of property	11.5m	48m
Height of eaves	5.5m	10.2m
Ridge Height	5.8m	16.5m
(Assuming max 45° pitch on 19.5m span)		

A3

Original sheet size

Rev	Date	By	CHK	Description
A	17/08/22	clg		Updated following LPA comments

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Client: Wales & West HA	Project: Extra Care Myrtle Close Penarth	Drawing Title: Parameters Plan
Drawing Status: PLANNING	Date: JAN 22	Drawn By/Checked/Director/Scale: clg JM 1:1000 @ A1
Job No: 2455	Opt. Drawing No. PL (03)104	Rev. A

BRIDGEND ■ **spring** design

Unit 2 Chapel Barns | Merthyr Mawr | Bridgend | CF32 0LS
t: 01656 656267 e: mail@spring-consultancy.co.uk

MASTER PLAN LAYOUT NOTES

All subject to consultation with Local Planning Authority, Local Highway Dept, Local Authority Landscape Architect, All Existing service providers, Civil & Structural Engineers, M&E Engineer, and any specialist design consultant.

Indicative landscaping shown refer to landscape architect for final layout. All subject to design team detail design and co-ordination.

KEY

- Site boundary Approx Area 22,405m²
- Proposed Building GF Outline 241,165ft²

SOUTH SITE: EXTRA CARE SCHEME (Full Planning)

Car Parking spaces = 27
 (inc 4 elec charging points via 2 charging pods)
 Cycle stands = 24 Bikes
 Secure buggy spaces = 39

1Bed, 2 Person	64 No.
2Bed, 2/3 Person	6 No.
Total Extra Care	70 No.

NORTH SITE+ 55 RESIDENTIAL (Outline Planning)

Car Parking spaces = 18

3 Storey Apartment Development

Ground Floor

1Bed, 2 Person @ 53m ²	02 No.
2Bed, 2/3 Person @ 65m ²	06 No.

First Floor + Second Floor

1Bed, 2 Person @ 53m ²	03 No.
2Bed, 2/3 Person @ 65m ²	07 No. 28 No.

Walk Up apartments

GF - 1Bed+, 2Person Dis @ 65m ²	02 No.
FF - 2Bed, 2/3 Person @ 65m ²	02 No. 04 No.

Total + 55 Residential 32 No.

LANDSCAPE KEY
 Indicative All landscaping & Sud's shown. Refer to latest Landscape Arch & Engineers drawings for detailed layouts.

- Trees existing cat A
- Trees existing cat B
- Trees existing cat C
- Identifiable trees to be removed
- Trees proposed
- Root protection zone
- Woodland Management Zone (no development)
- Proposed grassed landscaped area TBC
- Proposed planted areas TBC
- Proposed hedgerows with optional railings TBC
- Proposed Footpaths
- Proposed hard landscaped area TBC
- Proposed permeable paving

VoG Existing Woodland (Not for Development)

55+ Residential Apartments (Outline Planning)

Sud Features TBC

Existing Pump House
 New Pump House TBC

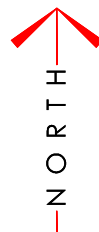
Sud Features TBC

Cycle Link Path

Extra Care Accommodation

New secure fence line location TBC

Sud Features TBC



A1
 Original sheet size

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Rev	Date	By	CHK	Description
A	17/08/22	clg		Updated following LPA comments
B	22/09/22	clg		Updated external works + removed tree T229 (ash) following landscape/arboriculturalist + engineers land modeling updates

Client:	Wales & West HA	Project:	Extra Care Myrtle Close Penarth	Drawing Title:	Master Site Plan
Drawing Status:	PLANNING	Date:	JAN 22	Drawn By/Checked/ Director:	clg JM
Scale:	1:500 @ A1	Job No:	2455	Opt:	PL
Drawing No.:	(03)102	Rev:	B	Unit 2 Chapel Barns Merthyr Mawr Bridgend CF32 0LS	t: 01656 656267

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e.mail@spring-consultancy.co.uk

Tree Translocation Plan - The purpose of this plan is to illustrate the principles behind the translocation of small trees and scrub within this site. Please note that the internal part of this site consists of small trees and scrub that have developed in the last approximate 15 years, many of which are of poor form as have developed close to others. For the purpose of this study all trees and scrub within this area have been identified many of which are below the size requirement of the BS5837:2012 to be included in the survey (75mm stem diameter at 1.5 metres) but being small tree /scrub regeneration have the potential to be easily and successfully translocated within and outside of the site. Due to the overgrown thick nature of this site this assessment and recommendations are approximate but demonstrated the principles behind the locations for translocation.

KEY

- Category A (High) - (Translocatable for retention)
- Category B (Moderate) - (Translocatable for retention)
- Category C (Low) - (Translocatable for retention)
- Category U (Poor) - (Translocatable for retention)

Tree Key

- W1 - Ash
- G2 - Common Oak
- W - Willow
- H - Hawthorn
- S - Sycamore
- C - Common Oak
- N - Norway Maple
- B - Blackthorn
- F - Field Maple

BS5837:2012 Tree Quality

- Quality 1 - (Highly desirable for retention)
- Quality 2 - (Desirable for retention)
- Quality 3 - (Fairly desirable for retention)
- Quality 4 - (Fairly undesirable for retention)
- Quality 5 - (Highly undesirable for retention)

Shade Pattern - (Indicates shade cast by trees)

Notes

- 1. Those of high quality with an estimated remaining life expectancy of at least 40 years. (Highly desirable for retention)
- 2. Those of moderate quality with an estimated remaining life expectancy of at least 20 years. (Desirable for retention)
- 3. Those of low quality with an estimated remaining life expectancy of at least 10 years. (Fairly desirable for retention)
- 4. Those of fair quality with an estimated remaining life expectancy of at least 5 years. (Fairly undesirable for retention)
- 5. Those of poor quality with an estimated remaining life expectancy of less than 5 years. (Highly undesirable for retention)

1.) Translocation area - Small trees and scrub to be translocated into surrounding woodland (W1) area to fill any gaps or developing gaps from the decline in ash trees from ash dieback disease. (Approx. 40 transplants to this area).

2.) Translocation area - Small trees and scrub to be translocated into surrounding woodland area to fill any gaps. This area of the woodland was less tree covered 15 years ago. (951m² - Approx. 40 transplants to this area).

3.) Translocation area - Larger trees of better form and scrub to be translocated to this area to fill any gaps. (413m² - Approx. 20 transplants to this area).

4.) Translocation area - Two rows of smaller trees of weaker form and scrub to be translocated to this area. Spacing at 2 per metre to create a thick boundary group to provide a green buffer and lower green connection around the boundary of the site. (Approx. 80 transplants to this area).

1.) Tree Surgery Work - Removal of 930m² of low quality sprawling tree regeneration and scrub. Consists of approx 48 small trees and scrub. Species made up of 85% Oak, 5% Hawthorn, 5% Ash, 2.5% Goat Willow, 2.5% Field Maple. Prior to felling works, small young trees (mainly native Oak) to be selected by an Arboriculturist and translocated to the western boundary and to fill any gaps in surrounding woodland.

5.) Translocation area - Two rows of smaller trees of weaker form and scrub to be translocated to this area. Spacing at 2 per metre to create a thick boundary group to provide a green buffer and green connection around the boundary of the site. (Approx. 86 transplants to this area).

2.) Tree Surgery Work - Removal of 7100m² of low quality sprawling tree regeneration and scrub. Consists of 248 small trees and scrub. Species made up of 85% Oak, 5% Hawthorn, 5% Ash, 5% Goat Willow. Prior to felling works, small young trees (mainly native Oak) to be selected by an Arboriculturist and translocated to the western boundary and to fill any gaps in surrounding woodland.





Typical 1 Bed Apartment Layout
Area = 50m²



Typical 2 Bed Apartment Layout
Area = 64m²

A1
Original sheet size

0 0.5m 1m
1:50 Scale

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Material Notes:
 Material Samples and colours of all external finishes shall be submitted to and approved in writing by the planning authority prior to commencement on of the work stage on site.

- Multi red brick & feature brick banding
- Smooth faced grey stone
- White silicon render
- Standing seam wall/roof cladding- green copper finish
- Accent grey curtain wall spandrel panels
- Aluminium Windows & Door frames & trims- Grey
- Glazed balcony railings
- Non slip timber effect balcony floor finish
- Slate effect Tiles - black
- Rainwater goods - black
- Green roof areas TBC
- Soffits & fascia boards - white
- Metal railings - grey


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Proposed Northern Street Elevation

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 Original sheet size

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Client Wales and West HA		Project Extra Care - Myrtle Close, Penarth		Drawing Title Proposed Northern Street Elevation	
Drawing Status PLANNING	Date Jan 22	Drawn By CG	Checked JM	Director JM	Scale 1 : 250@A1
Job No. 2455	DPL PL	Drawing No. (03)300	Rev. 1	 <small>Unit 2 Chapel Barrs Merthyr Mawr Bridgend CF33 0LS www.spring-consultancy.co.uk t. 01456 456267</small>	

Material Notes:
 Material Samples and colours of all external finishes shall be submitted to and approved in writing by the planning authority prior to commencement on of the work stage on site.

- Multi red brick & feature brick banding
- Smooth faced grey stone
- White silicon render
- Standing seam wall/roof cladding- green copper finish
- Accent grey curtain wall spandrel panels
- Aluminium Windows & Door frames & trims- Grey
- Glazed balcony railings
- Non slip timber effect balcony floor finish
- Slate effect Tiles - black
- Rainwater goods - black
- Green roof areas TBC
- Soffits & fascia boards - white
- Metal railings - grey

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Proposed Eastern Street Elevation

A1
 Original sheet size

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Client Wales and West HA		Project Extra Care - Myrtle Close, Penarth		Drawing Title Proposed Eastern Street Elevation		Rev.	
Drawing Status PLANNING	Date Jan 22	Drawn By CG	Checked JM	Director JM	Scale 1 : 250@A1	Job No. 2455	DPL Drawing No. PL (03)301
Client Wales and West HA		Project Extra Care - Myrtle Close, Penarth		Drawing Title Proposed Eastern Street Elevation		Rev.	



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Material Notes:
Material Samples and colours of all external finishes shall be submitted to and approved in writing by the planning authority prior to commencement on of the work stage on site.

- Multi red brick & feature brick banding
- Smooth faced grey stone
- White silicon render
- Standing seam wall/roof cladding- green copper finish
- Accent grey curtain wall spandrel panels
- Aluminium Windows & Door frames & trims- Grey
- Glazed balcony railings
- Non slip timber effect balcony floor finish
- Slate effect Tiles - black
- Rainwater goods - black
- Green roof areas TBC
- Soffits & fascia boards - white
- Metal railings - grey

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Proposed Western Street Elevation

A1
Original sheet size

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Client Wales and West HA		Project Extra Care - Myrtle Close, Penarth			Drawing Title Proposed West Street Elevation		
Drawing Status PLANNING	Date Jan 22	Drawn By clg	Checked JM	Scale 1 : 250@A1	Job No. 2455	DPL Drawing No. PL (03)302	Rev.



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Material Notes:
 Material Samples and colours of all external finishes shall be submitted to and approved in writing by the planning authority prior to commencement on of the work stage on site.


- Multi red brick & feature brick banding
- Smooth faced grey stone
- White silicon render
- Standing seam wall/roof cladding- green copper finish
- Accent grey curtain wall spandrel panels
- Aluminium Windows & Door frames & trims- Grey
- Glazed balcony railings
- Non slip timber effect balcony floor finish
- Slate effect Tiles - black
- Rainwater goods - black
- Green roof areas TBC
- Soffits & fascia boards - white
- Metal railings - grey

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A1
 Original sheet size
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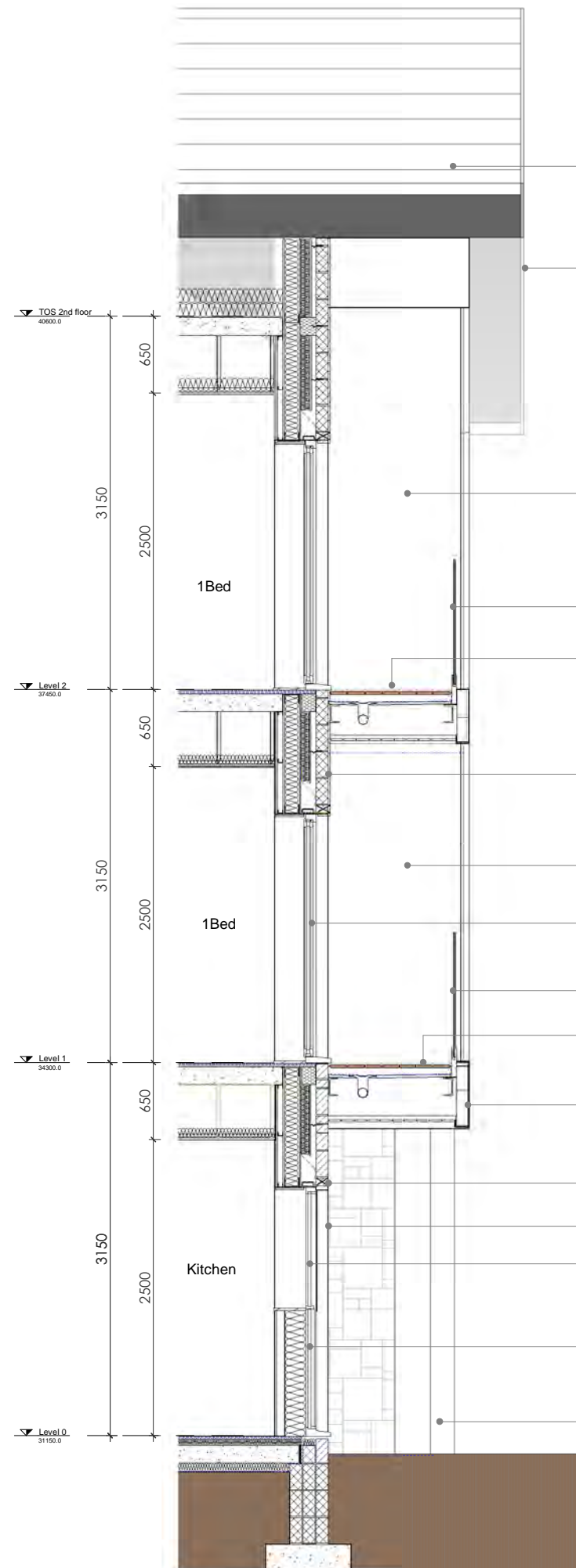
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Client Wales and West HA		Project Extra Care - Myrtle Close, Penarth		Drawing Title Proposed South Street Elevation	
Drawing Status PLANNING	Date Jan 22	Drawn By: Checked: Director: CG JM	Scale: 1 : 250@A1	Job No. 2455	DPL Drawing No. PL (03)303
			Rev. 1	 <small>Unit 2 Chapel Barrs Merthyr Mawr Bridgend CF33 0LS www.spring-consultancy.co.uk 01456 456267</small>	

Material Notes:
 Material Samples and colours of all external finishes shall be submitted to and approved in writing by the planning authority prior to commencement on of the work stage on site.

- 1 -Multi red brick & feature brick banding
- 2 -Smooth faced random grey stone
- 3 -White silicon render
- 4 -Standing seam wall/roof cladding- green copper finish
- 5 -Sliding Aluminium entrance doors
- 6 -Aluminium Windows & Door frames & trims- Grey
- 7 -Aluminium Curtain walling & doors - Grey
- 8 -Accent grey curtain wall spandrel panels
- 9 -Glazed balcony railings
- 10 -Non slip timber effect balcony floor finish
- 11 -Slate effect Tiles - black
- 12 -Rainwater goods - black
- 13 -Soffits & fascia boards - white
- 14 -Metal railings - grey
- 15 -Aluminium caps & trims - Grey
- 16 -Rockpanel cladding panel - white
- 17 -Structural column - White
- 18 -Single Ply Roof Membrane - mid/dark grey
- 19 -PV's to specialist detail design
- 20 - M&E items to specialist detail design
- 21 - AOV to Specialist detail design
- 22 - Ecology - Bat/bird/bee habitats to specialist specification

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1 Typical Wall Section



2 Typical Expressed Bay Elevation

A1
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Client Wales and West HA		Project Extra Care - Myrtle Close, Penarth		Drawing Title Proposed Typical Facade Section & Elevation	
Drawing Status PLANNING	Date Jan 22	Drawn By clg	Checked JM	Scale 1 : 25@A1	Job No. 2455
			Director JM	Drawing No. PL (03)410	Rev. 1
			Unit 2 Chapel Barrs Merthyr Mawr Bridgend CF32 0LS www.spring-consultancy.co.uk		spring design £ 01456 456267



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2022/00294/HYB- Land Adjacent to Myrtle Close

Key to photographs:



1. From the path to the south of the site (along the northern edge of Cogan Hall Farm) looking west



2. From the path to the south of the site (along the northern edge of Cogan Hall Farm) looking into the site



2022 00294 HYB

3. From Myrtle Close, looking east towards the path adjacent to Ty Dewi Sant (to be upgraded)



4. From Myrtle Close looking west towards the access into the site



5. From the access into the site, looking south west towards the proposed siting of the extra care building



6. From the access into the site, looking north east towards the proposed siting of the over 55s housing and rear of properties in Myrtle Close



7. Oak Court Sheltered Housing Complex, adjacent to the site



8. From the access into the site, looking west towards the access to the existing pumping station



9. From the access into the site, looking towards the proposed extra care car parking area



10. Within the site of the proposed over 55s housing, looking north



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11. Within the site of the proposed over 55s housing, looking north east (towards backs of houses in Myrtle Close)



12. Southern boundary of the site of the proposed over 55s housing looking east



13. Existing sewage pumping station



14. Northern boundary of the proposed extra care site looking east



15. From within the proposed extra care site, looking south towards Cogan Hall Farm Estate



16. From the existing pumping station turning area, looking north towards the woodland proposed to be retained



17. From the existing pumping station access, looking south towards the proposed extra care site



18. From the existing pumping station access, looking south towards the proposed extra care site

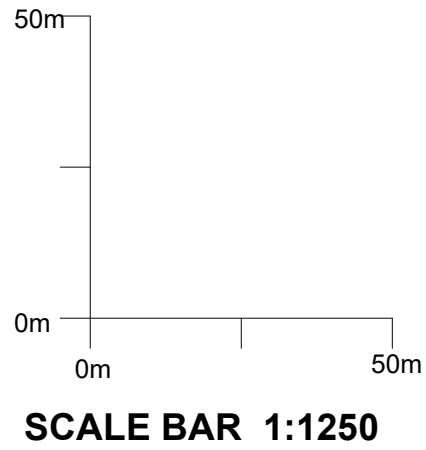


19. From the path to the south of the site (along the northern edge of Cogan Hall Farm) looking north along western site boundary



20. From within the proposed extra care site

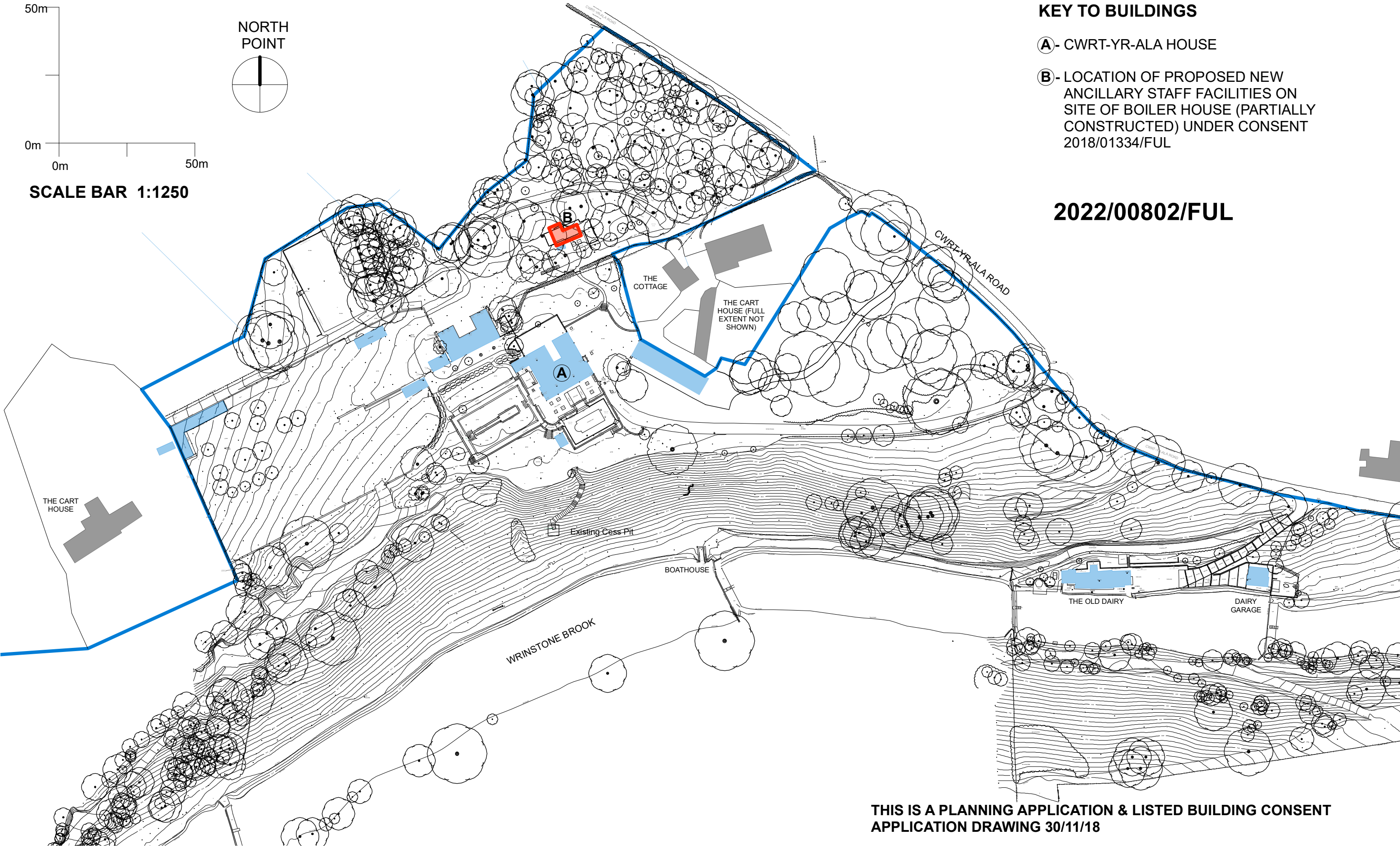




KEY TO BUILDINGS

- (A)**- CWRT-YR-ALA HOUSE
- (B)**- LOCATION OF PROPOSED NEW ANCILLARY STAFF FACILITIES ON SITE OF BOILER HOUSE (PARTIALLY CONSTRUCTED) UNDER CONSENT 2018/01334/FUL

2022/00802/FUL



THIS IS A PLANNING APPLICATION & LISTED BUILDING CONSENT APPLICATION DRAWING 30/11/18

notes / revisions

- 1) Site, the subject of this planning & listed building consent application, is highlighted bounded with red lines & red shading.
- 2) Applicant's ownership boundary highlighted by blue line.
- 3) Applicant's other existing buildings (i.e. those not subject of this application) are highlighted with light blue shading.
- 4) This drawing is based on a topographical measured survey by Zenith Land Surveys Ltd. (Ref.21013) with supplementary information based on current Ordnance Survey Plan.

Do not scale this drawing. Check all dimensions on site.

ALWYN JONES

PENSEIRI ARCHITECTS

title
CWRT-YR-ALA, MICHAELSTON LE PIT - NEW STAFF FACILITIES

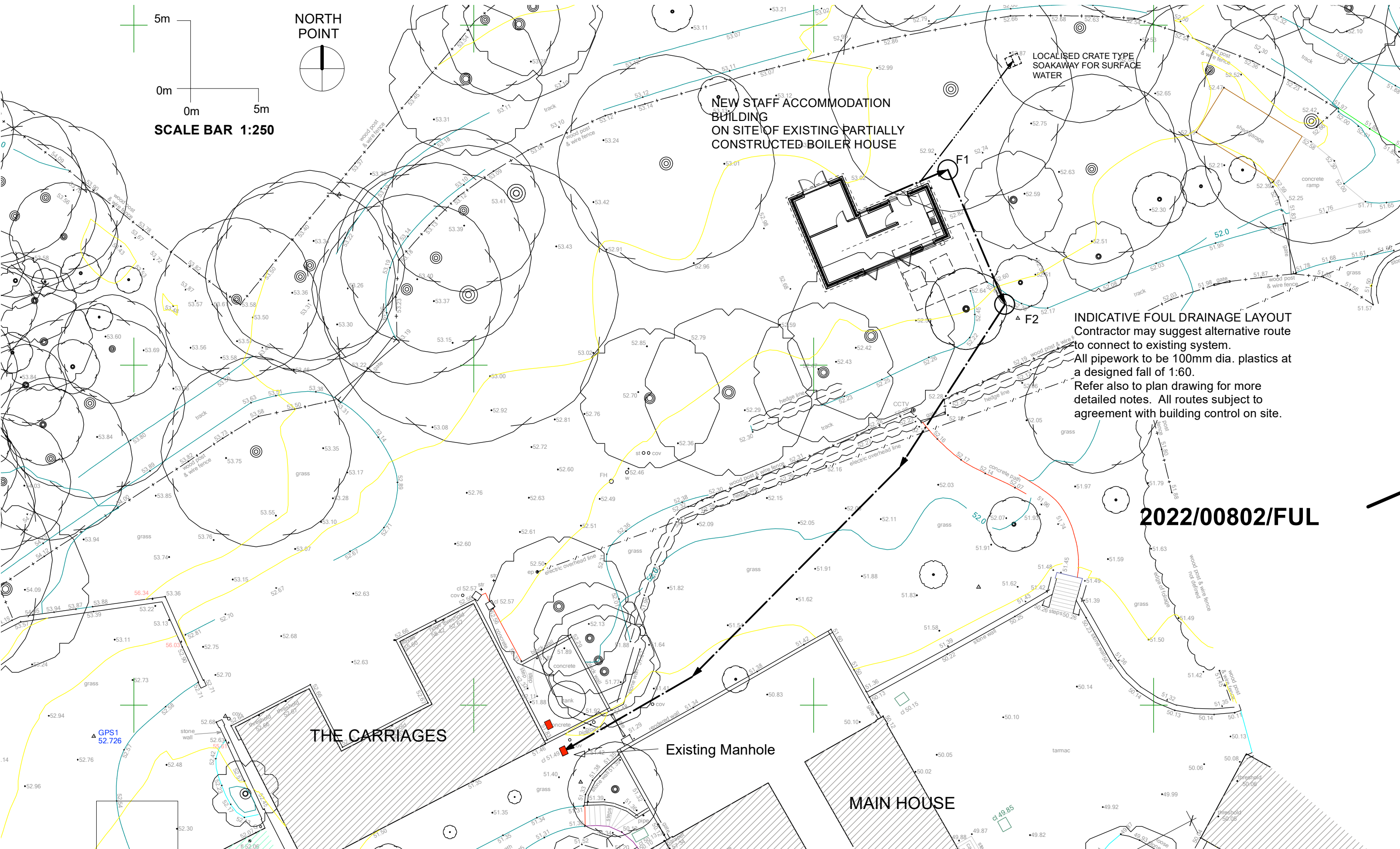
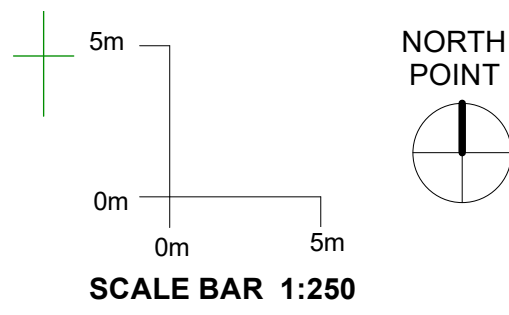
date
07/2022

scale
1:1250 @ A3

number
STAFF 17/650/001

Site Location Plan

The Bank 5 Cardiff Road Taffs Well Cardiff CF15 7RA 029 2081 0080 www.alwynjones.com ©Alwyn Jones Architects



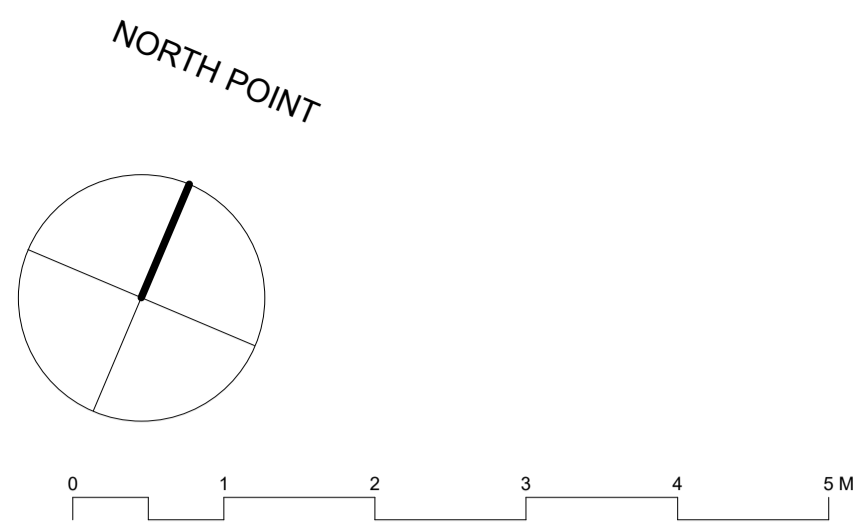
notes / revisions

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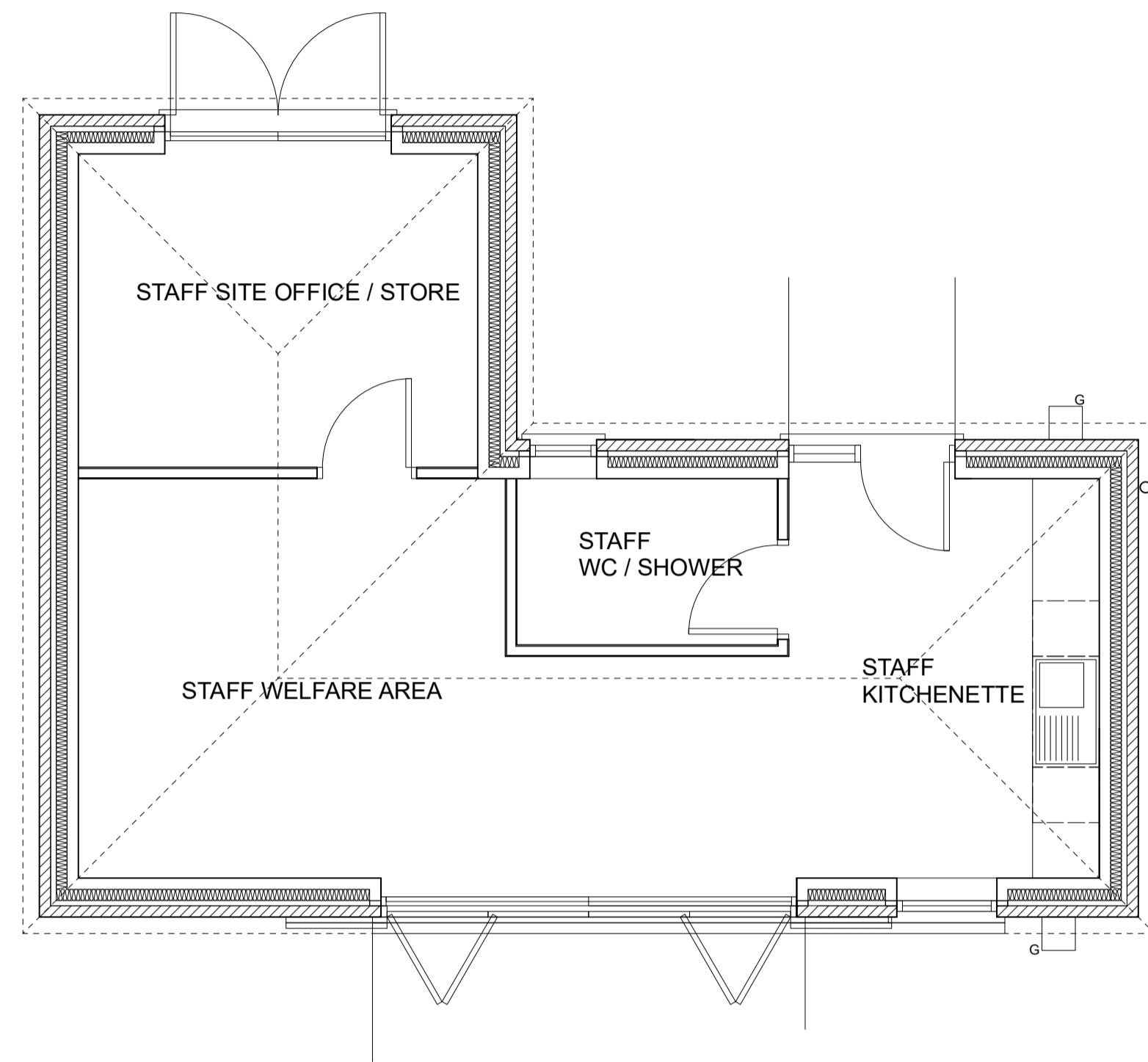
PENSEIRI ARCHITECTS

title	CWRT-YR-ALA, MICHAELSTON LE PIT - NEW STAFF FACILITIES	date	07/22	scale	1:250 @ A3
number	STAFF 17/650/100				
Site Plan - As Proposed <small>The Bank 5 Cardiff Road Taffs Well Cardiff CF15 7RA 029 2081 0080 www.alwynjones.com ©Alwyn Jones Architects</small>					

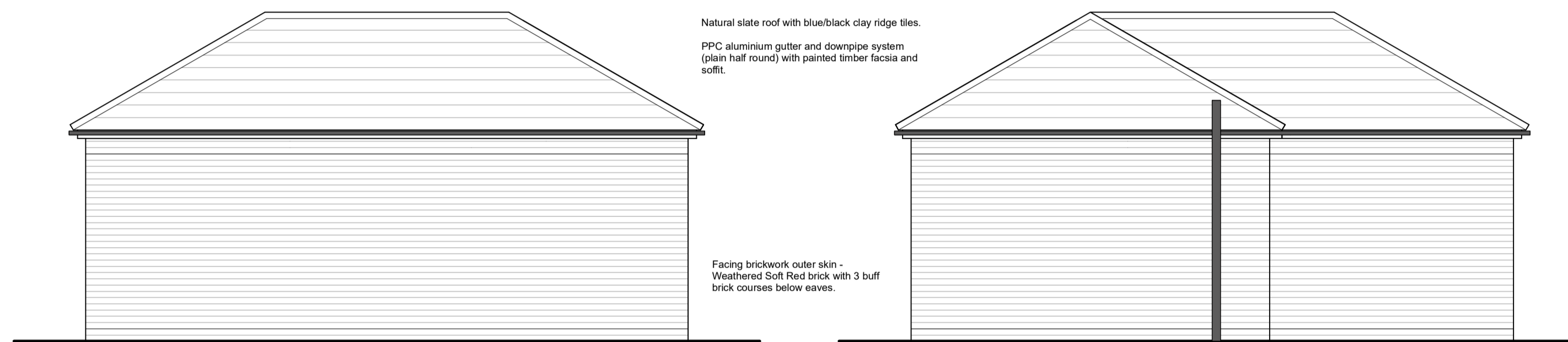
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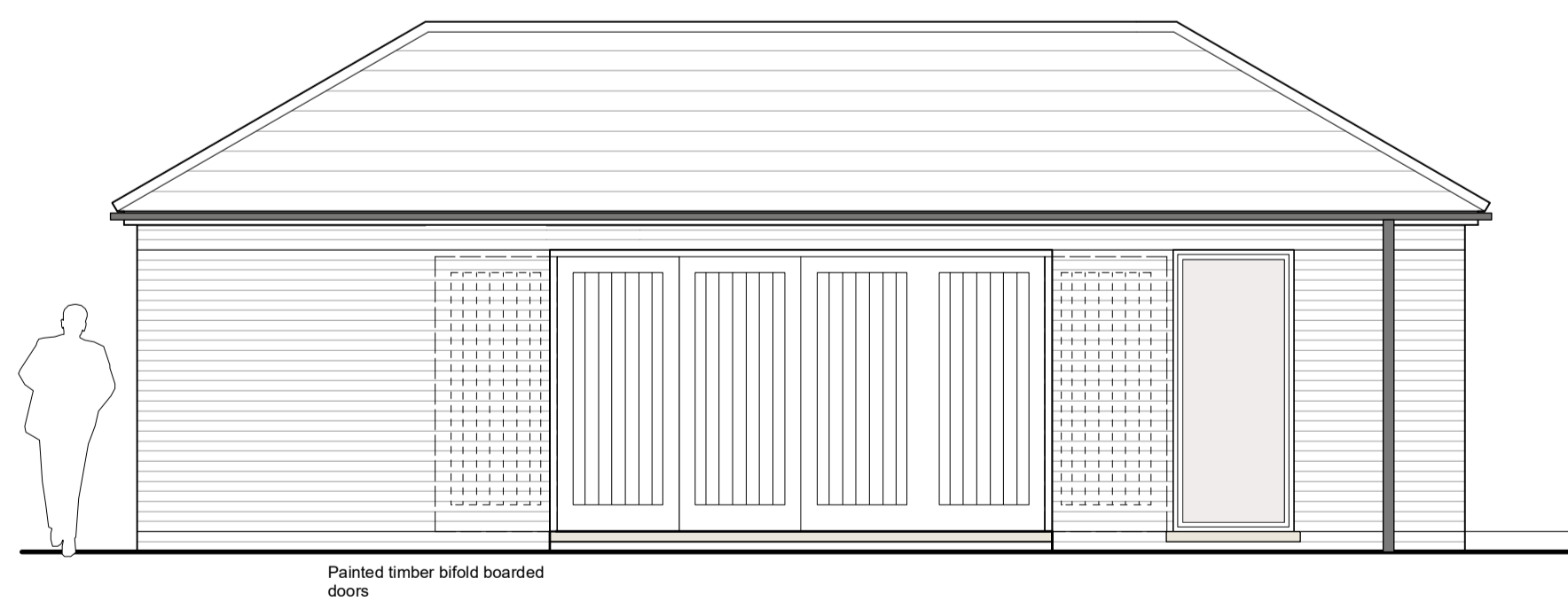


FLOOR PLAN



WEST (SIDE) ELEVATION

EAST (SIDE) ELEVATION



SOUTH (FRONT) ELEVATION

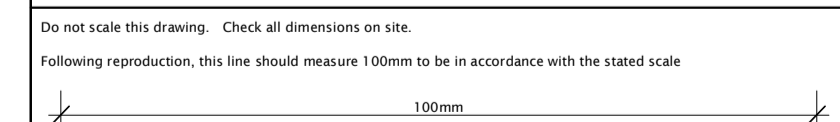


NORTH (REAR) ELEVATION

NOTE:
This proposal is based on the same overall size and proportions of the previously granted Boilerhouse & Store (Application Ref. 2018/01334/FUL). As noted in the DAS, in an effort to reduce the carbon emissions of the estate, the site heating strategy has changed to the use of air source heat pumps in lieu of LPG. As a consequence, a large boilerhouse is no longer required. The building will provide ancillary welfare accommodation for estate staff.

notes / revisions

This drawing is intended for use in obtaining Planning consent only. Notify architect of site discrepancies prior to undertaking work.



ALWYN JONES

PENSEIRI ARCHITECTS

title	date	scale
CWRT YR ALA STAFF FACILITIES	07/22	1:50 @ A1
number	STAFF	
Plan & Elevations As Proposed	17/650-101 [P0]	



View from internal estate road



View from internal estate road



Building as partly constructed



Building as partly constructed



Cwrt Y Ala Road



Glimpsed view from Cwrt Y Ala Road