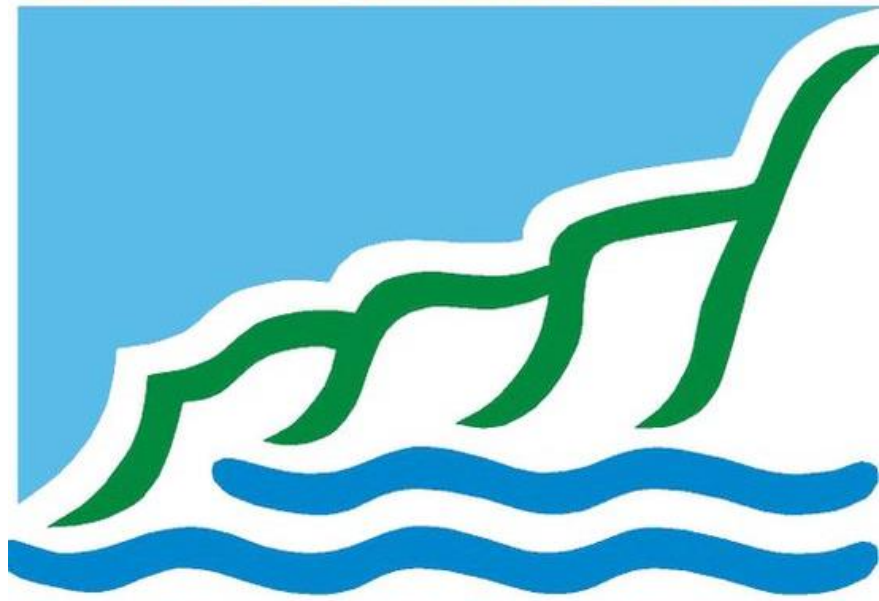


VALE of GLAMORGAN



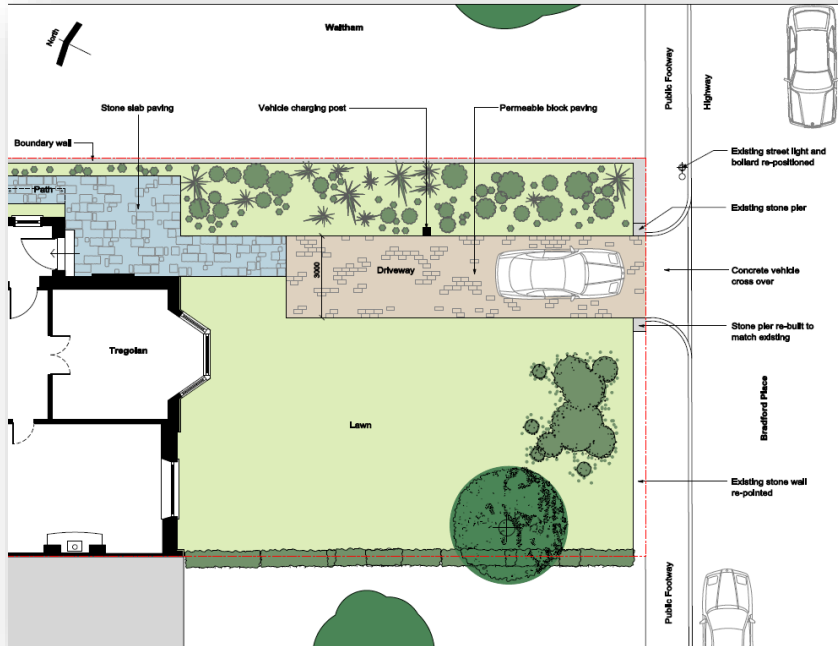
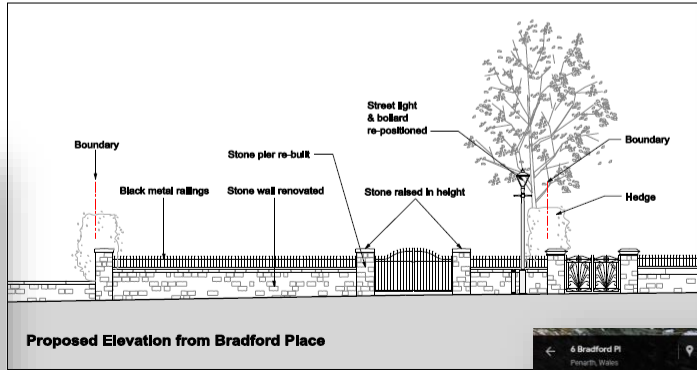
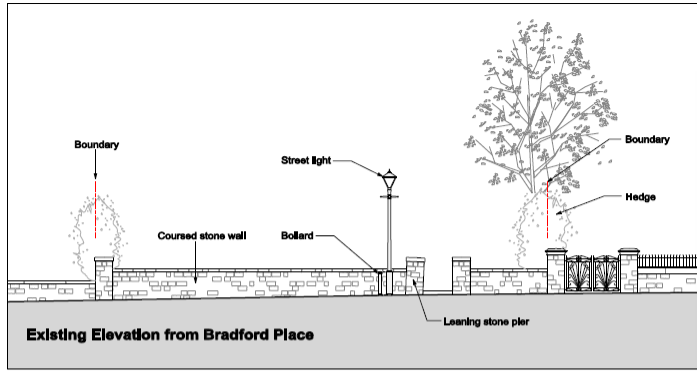
BRO MORGANNWG

Planning Committee

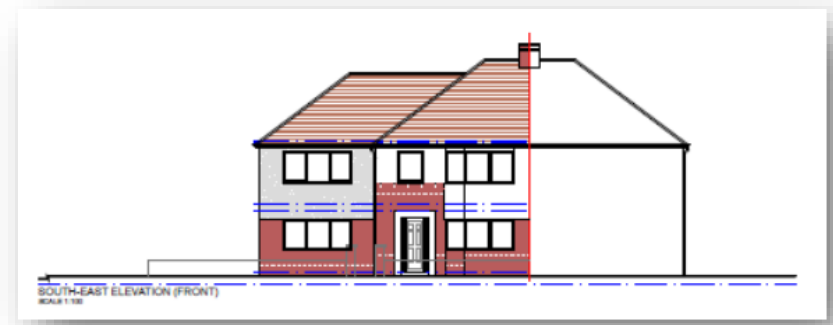
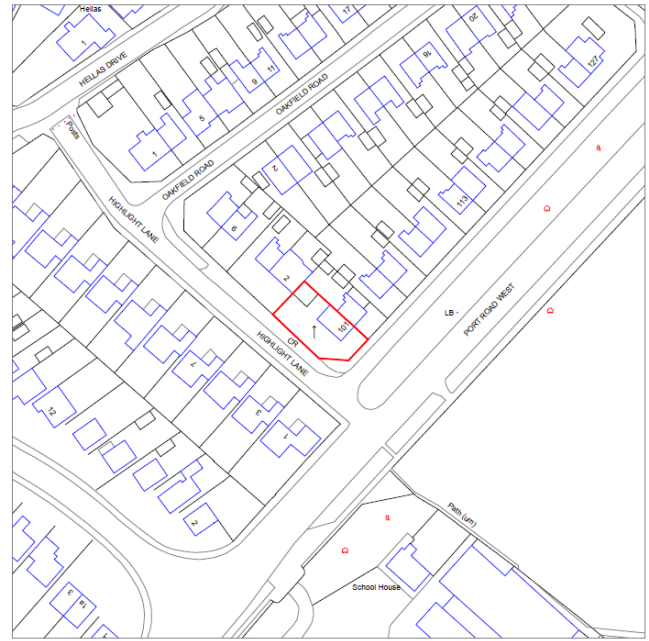
30 November 2023

Appeal Decisions

2023/00070/FUL – Tregolan House, Bradford Place, Penarth – proposed driveway – Appeal dismissed

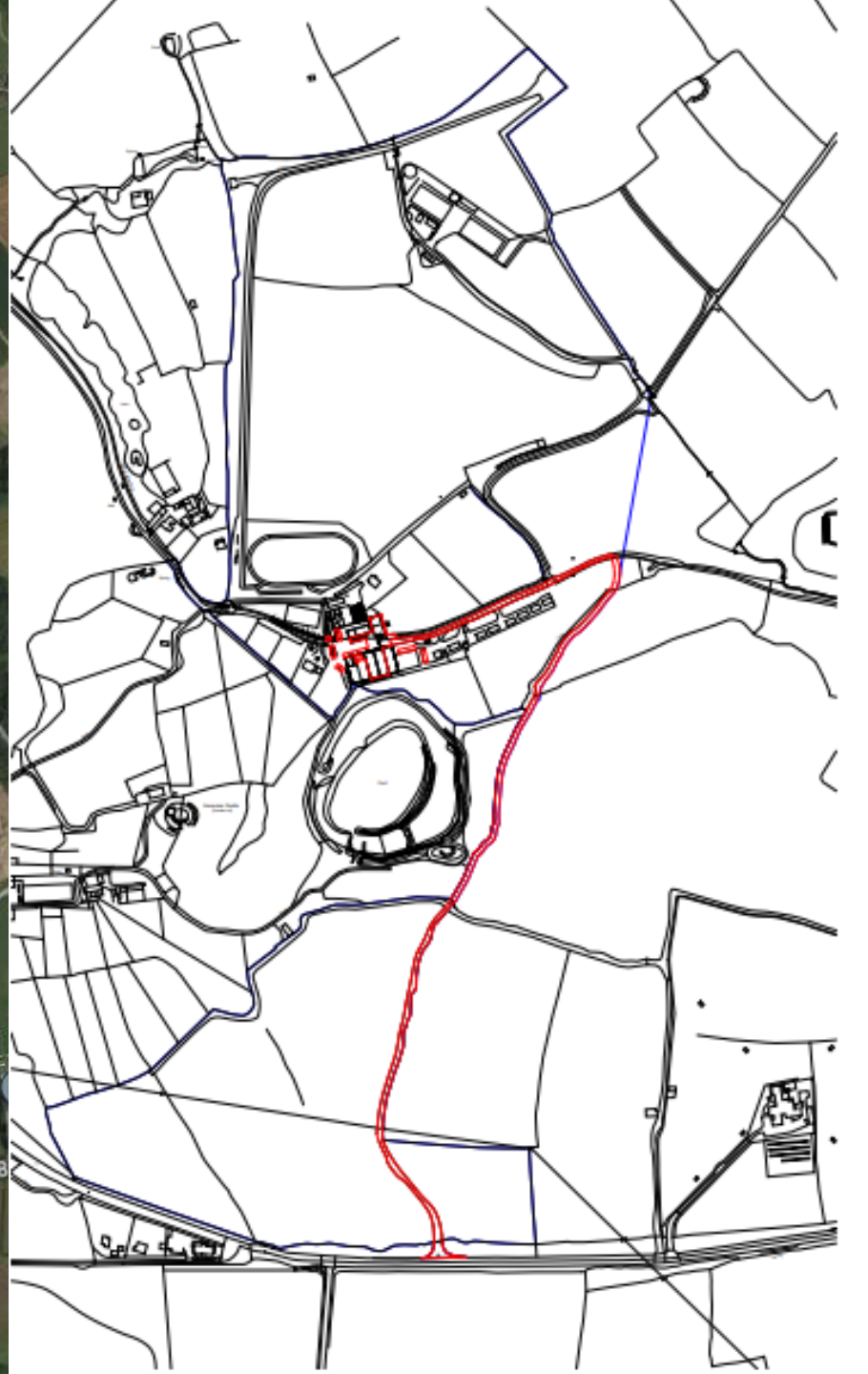
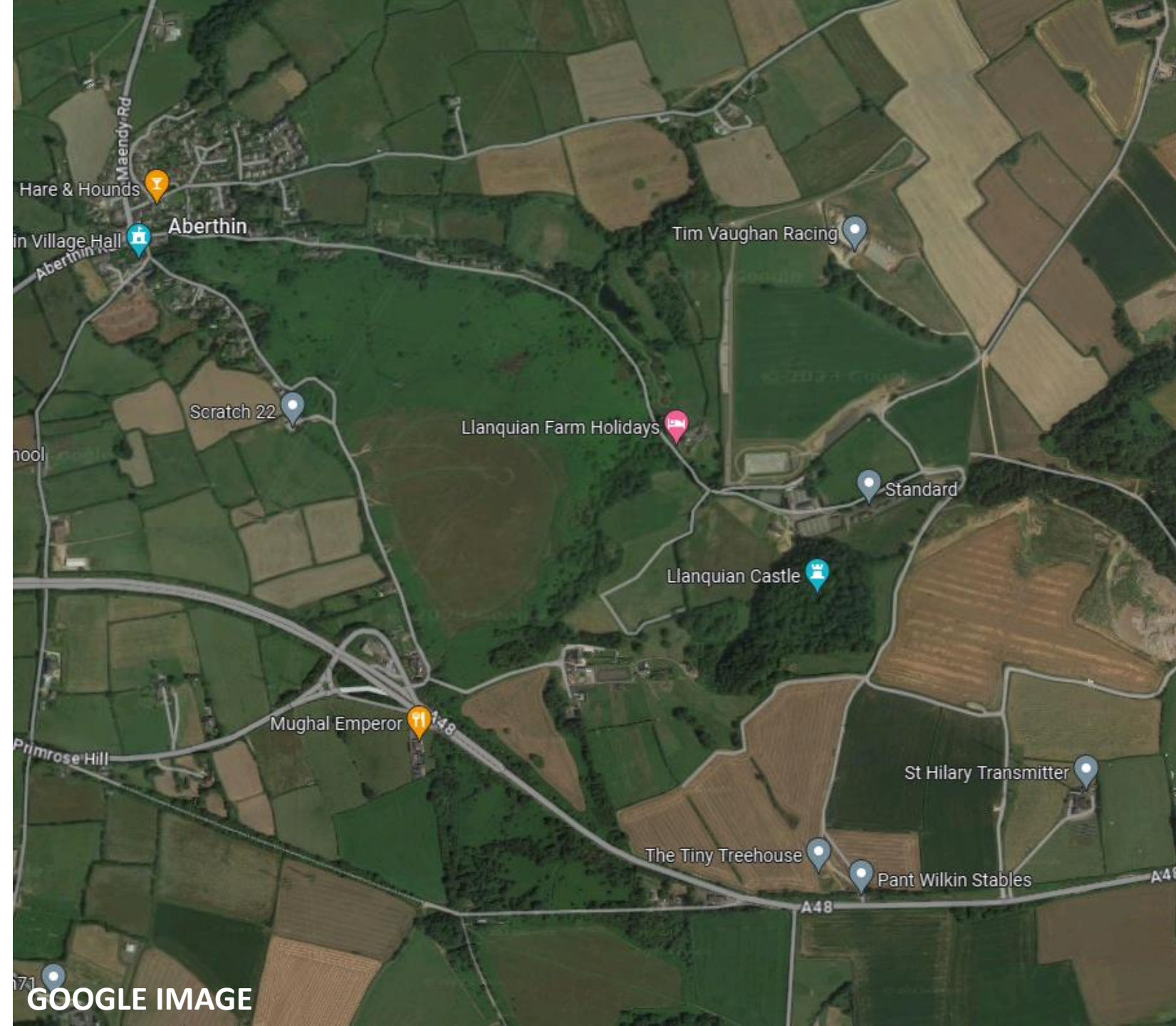


ENF/2021/0300/PC – 101 Port Road West, Barry
Appeal in respect of an Enforcement Notice issued – Appeal dismissed



Enforcement Action

Land and Buildings at Pant Wilkin Stables, Aberthin



- Use of Former Equestrian Buildings for Business Uses

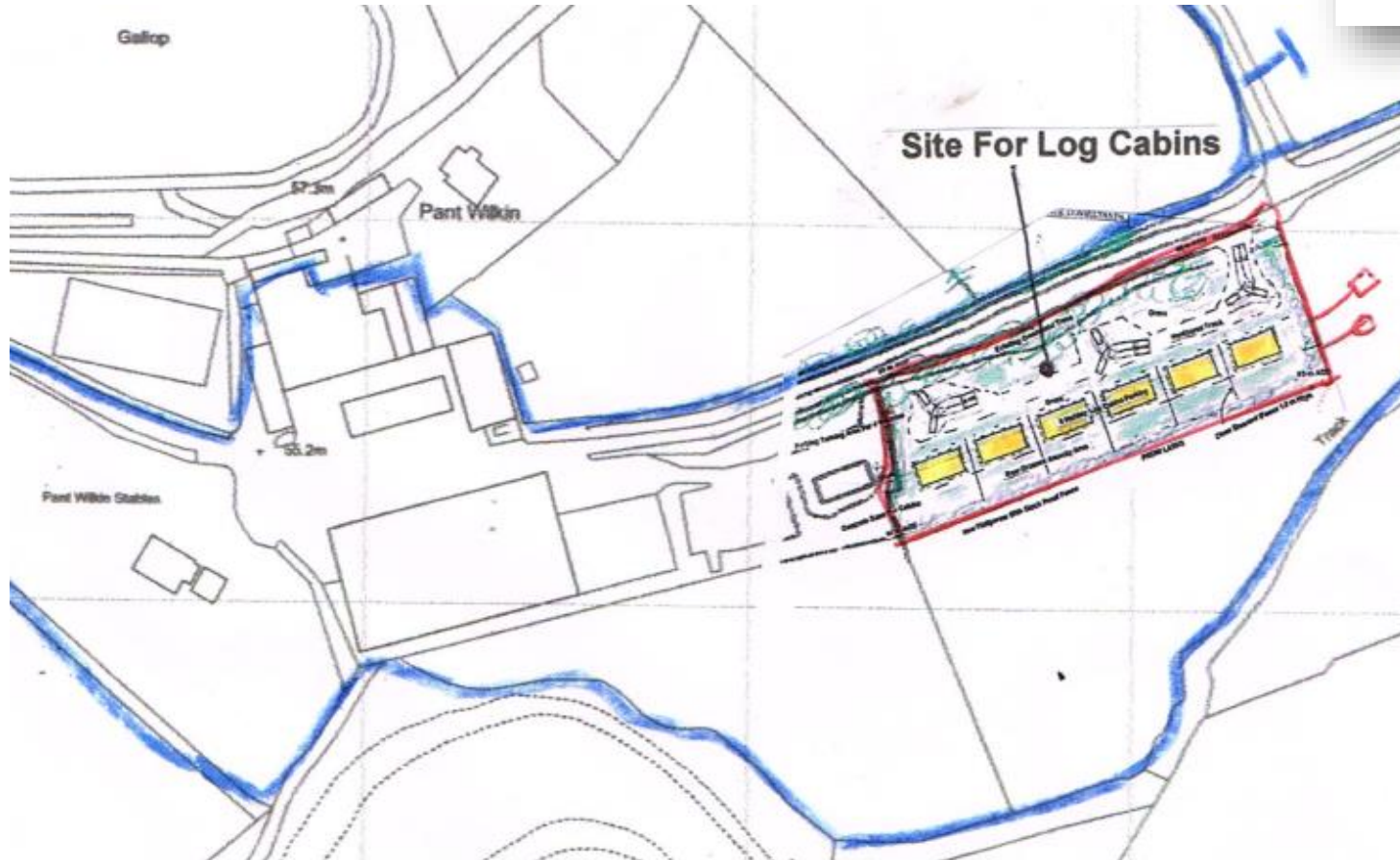


- Use of Holiday Log Cabins for General Rental Purposes

3. The development shall be occupied as holiday accommodation only and shall not be occupied as a person's sole or main place of residence. An up-to-date register shall be kept at the holiday accommodation hereby permitted and be made available for inspection by the Local Planning Authority upon request. The register shall contain details of the names of all of the occupiers of the accommodation, their main home addresses and their date of arrival and departure from the accommodation.

Reason:

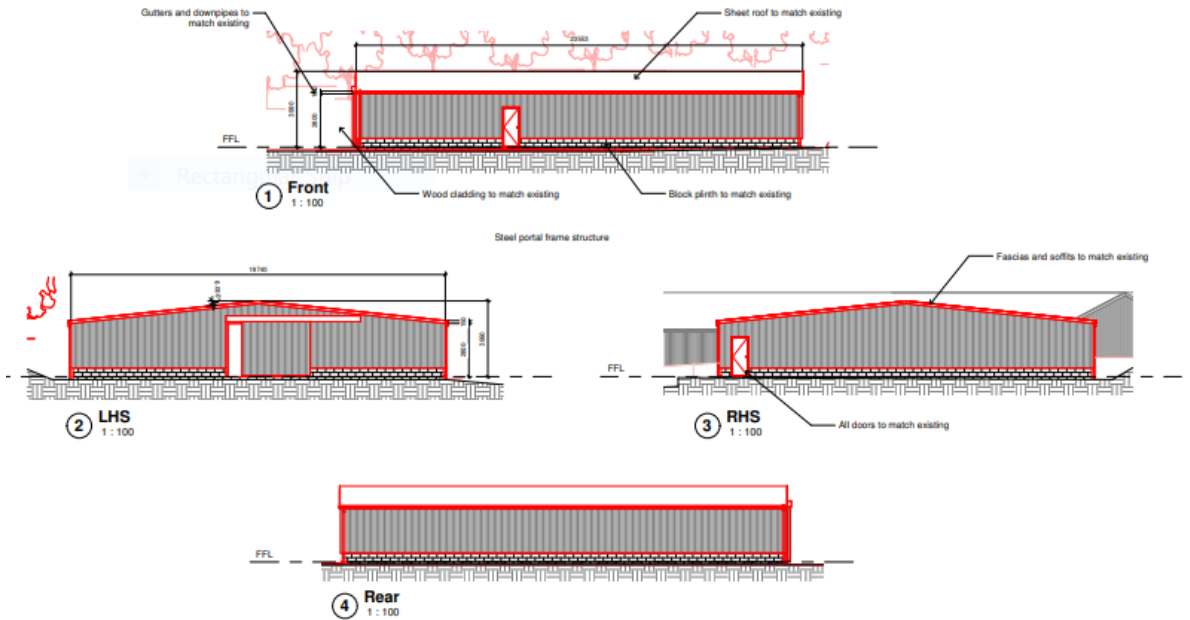
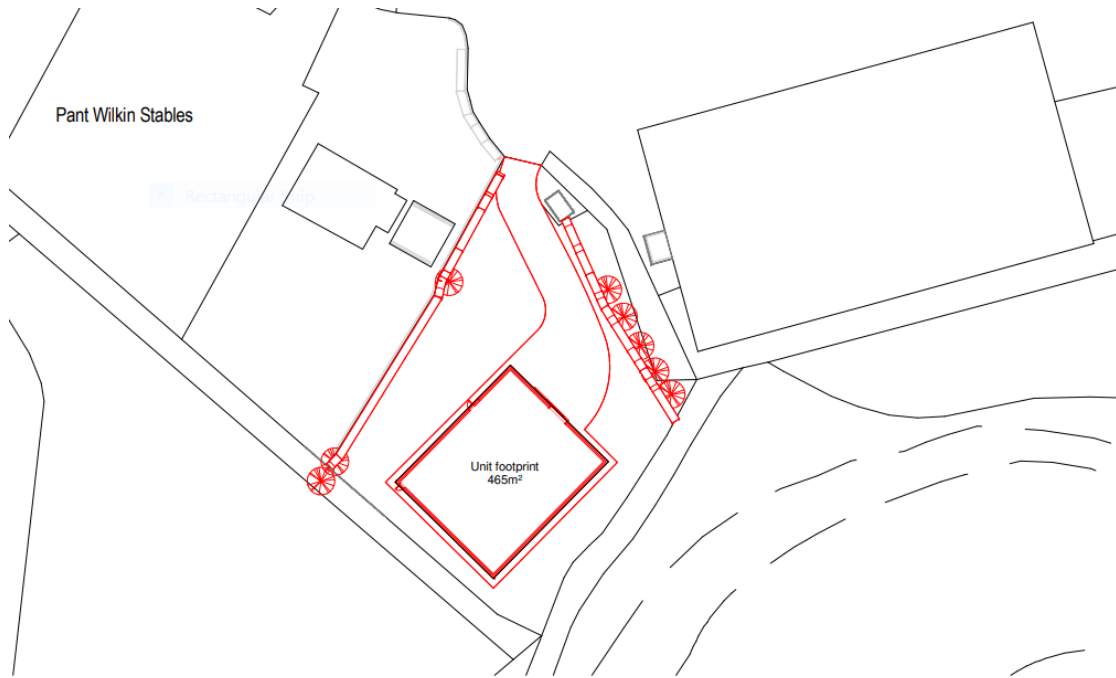
To enable the Local Planning Authority to maintain control over the nature of the use of this site which, for policy purposes, is located in the countryside, and to comply with the terms of Policies SP1 (Delivering the Strategy), SP11 (Tourism and Leisure), MD1 (Location of New Development) and MD13 (Tourism and Leisure) of the Local Development Plan.



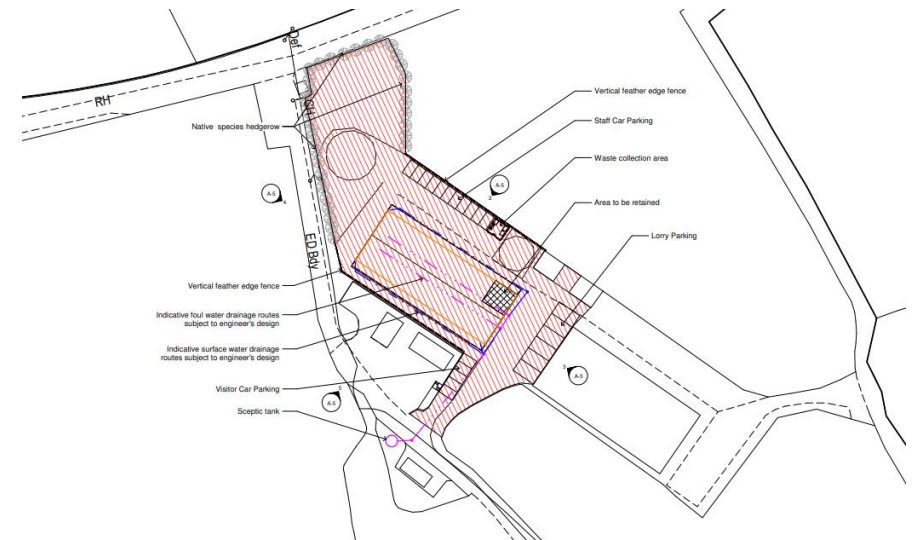
- Motor Cross Activities



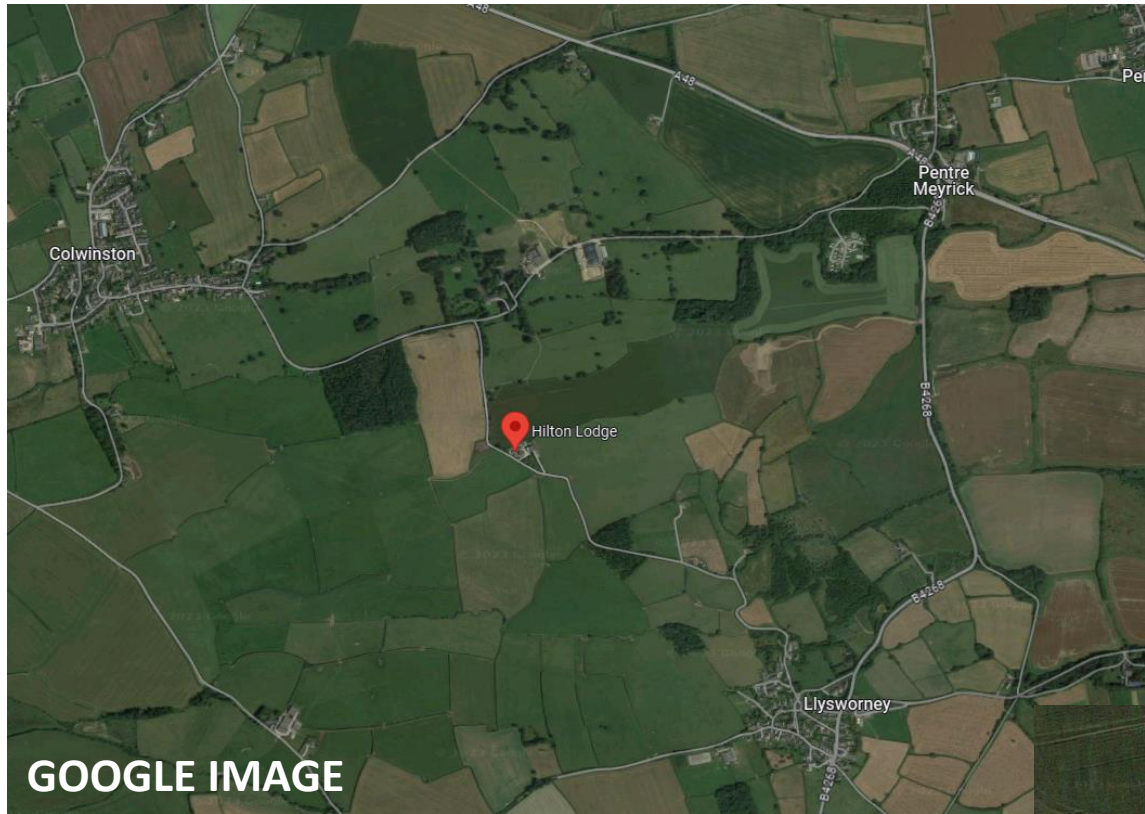
- Commercial Building (in place of Agricultural 'Sheep' Building)



- Excavation of Land adjacent to Equine Hospital



Land and Buildings at Hilton Farm, Colwinston



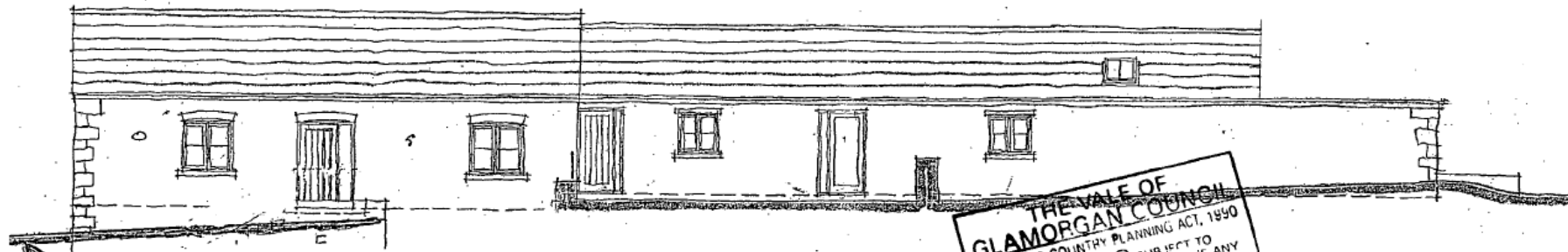
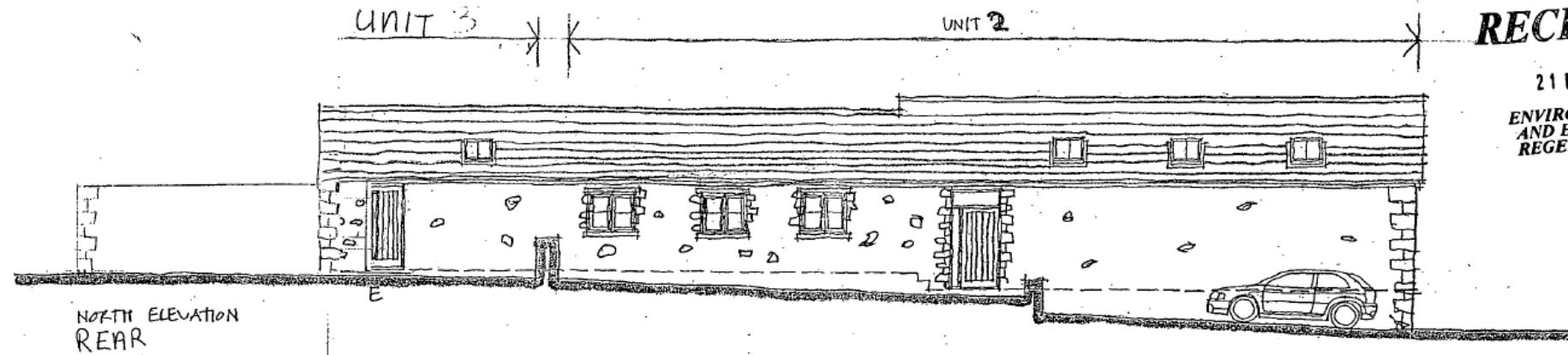
GOOGLE IMAGE



GOOGLE IMAGE



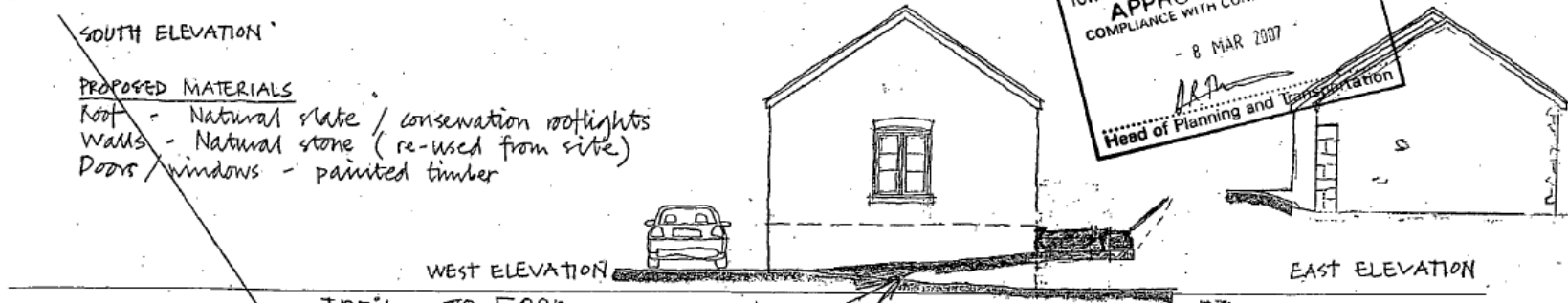
Approved Plans from 2006/01474/FUL



PROPOSED MATERIALS

- Roof - Natural slate / conservation rooflights
- Walls - Natural stone (re-used from site)
- Doors/windows - painted timber

THE VALE OF GLAMORGAN COUNCIL
 TOWN AND COUNTRY PLANNING ACT, 1990
 APPROVED SUBJECT TO COMPLIANCE WITH CONDITIONS IF ANY
 - 8 MAR 2007
 Head of Planning and Transportation



Notes
 Do NOT scale off this drawing.
 Check dimensions before use and notify the Architect of any discrepancies immediately.
 © Copyright belongs to the Architect.

Job Title
 Proposed Conversion at HILTON FARM, Colwinston for Mr. G. Gough

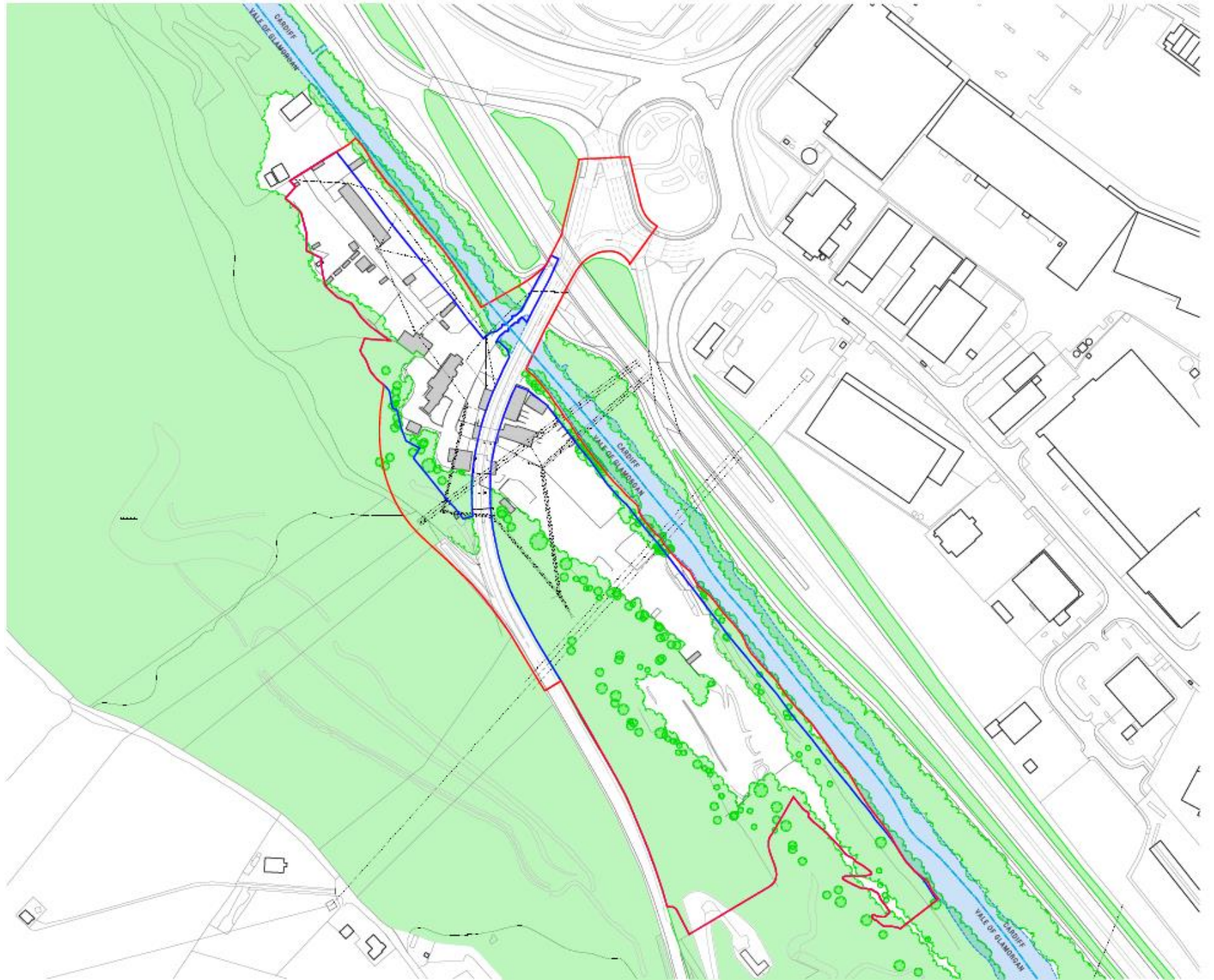
VALE OF GLAMORGAN COUNCIL
 AMENDED PLANS
 06/01474/FUL
 RECEIVED Date 21.02.07

Planning Applications

2020/01218/HYB– Leckwith Quay, Leckwith Road, Leckwith

Hybrid planning application for residential development for up to 228 dwellings (submitted in OUTLINE), associated highway and bridge improvement / realignment works (submitted in FULL). Development involves the demolition of all buildings on site and of the existing B4267 Leckwith Road Bridge

EXISTING SITE LOCATION





Gôl Centres

Jubilee
Recreation
Ground

Capital Retail Park

Cardiff International
Sports Campus

Cardiff City Stadium

Everlast Gyms -
Cardiff Leckwith

River Ely

GOOGLE IMAGE



River Ely

River Ely

GOOGLE IMAGE

Sanatorium
Park

River Ely

GOOGLE IMAGE





GOOGLE IMAGE



GOOGLE IMAGE



GOOGLE IMAGE









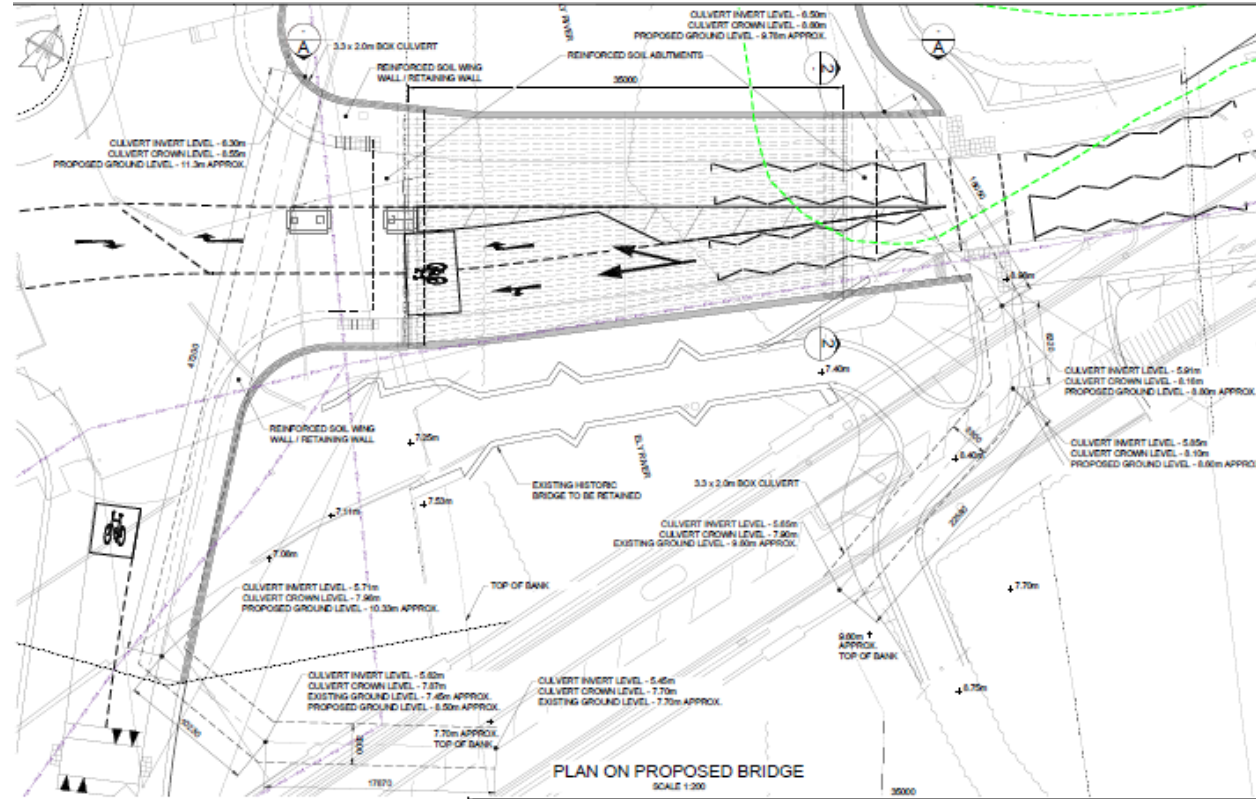


Escape Lane
↓

WEAK BRIDGE
DON'T WALK
20

WEAK BRIDGE
DON'T WALK
20





LOCATION PLAN
SCALE 1:10,000

DO NOT SCALE

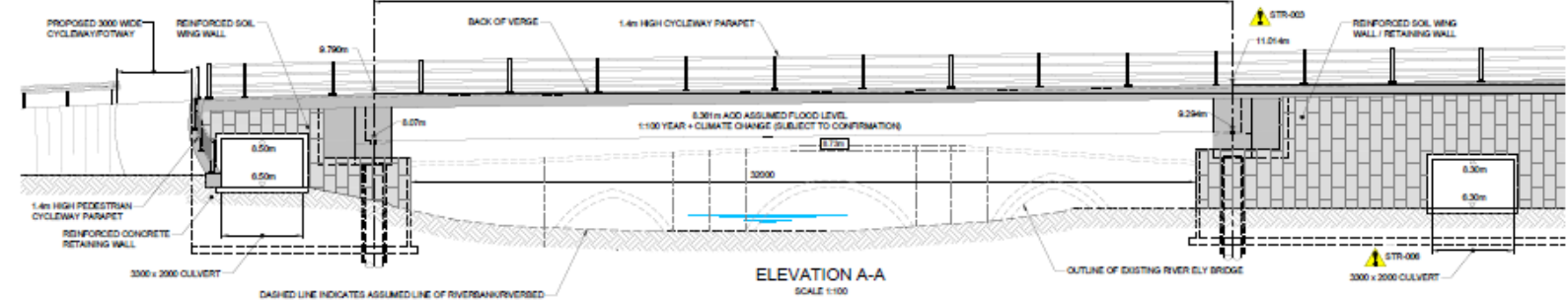
NOTES

- DO NOT SCALE FROM THIS DRAWING - USE ONLY VALUES OF STATED DIMENSIONS.
- ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE SHOWN.
- ALL EXISTING STATUTORY INFORMATION SHOWN HAS BEEN PROVIDED BY THE RELEVANT STATUTORY AUTHORITIES. THE CONTRACTOR SHALL CONFIRM THE LOCATIONS AND OWNERSHIP OF THE SERVICES PRIOR TO ANY WORKS BEING CARRIED OUT. ANY DIVERSIONS REQUIRED ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE RELEVANT STATUTORY AUTHORITY PRIOR TO CONSTRUCTION.

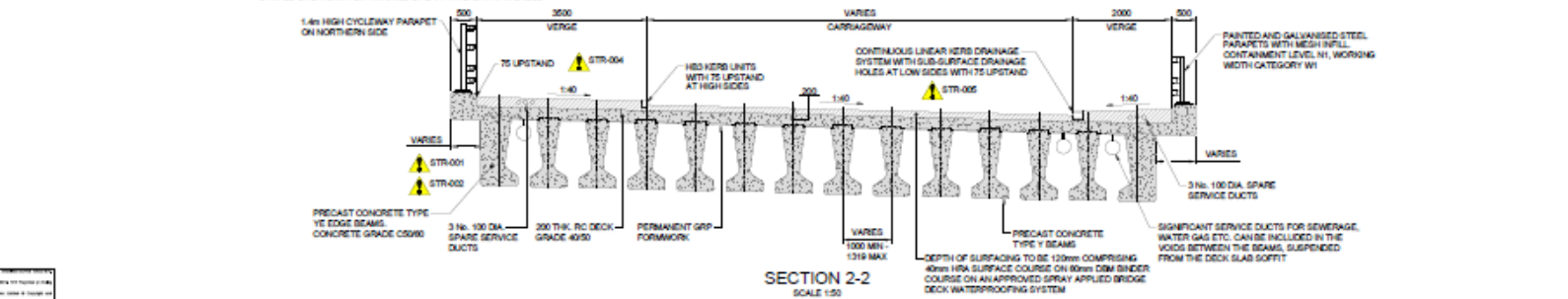
KEY

BT OPENREACH

WESTERN POWER I/M (33KV)



ELEVATION A-A
SCALE 1:100



SECTION 2-2
SCALE 1:50

Health and Safety Symbols Legend

Work not approved in the Significant Road Design (SRD) Schedule (Contract Number 7005361)

Work to be carried out as a warning

KEY TO THE HAZARDOUSNESS (H) ASSOCIATED WITH THE TYPES OF WORK DETAIL ON THE DRAWING. NOTE THE FOLLOWING SIGNIFICANT FEDERAL RISKS

Constructive Risk	STR01	Colling of precast beams.
STR02	Colling of precast beams into existing beams.	
STR03	Superstructure construction.	
STR04	Proximity of existing Statutory Undertakers services.	
STR05	Deck Construction.	
STR06	Weging construction.	
STR07	Facing reinforcement.	
STR08	Facing reinforcement piles.	

Maintenance Risk - No significant maintenance risk identified.

Contingency/Adaptation Risk - No significant contingency risk identified.

REV	DATE	BY	DESCRIPTION	APP
001	20/10/20	001	Additional work item added	001
002	20/10/20	001	LET TO BE LEM - H	H
003	20/10/20	001	H - E - H	H
004	21/10/20	001	H - F - H	H
005	21/10/20	001	H - F - H	H

30 - WORK IN PROGRESS



DATE: 20/10/20
PROJECT: 7005361
SHEET: 01 OF 01
DATE: 20/10/20

CLIENT: LECKWITH QUAY DEVELOPMENT

PROJECT: LECKWITH QUAY BRIDGE PROPOSED GENERAL ARRANGEMENT

SCALE	AS SHOWN	0:0000	0:0000	0:0000	0:0000
PROJECT NO	7005361	01	01	01	01
DATE	20/10/20	20/10/20	20/10/20	20/10/20	20/10/20
PROJECT	7005361-002				PO4

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NOTES

1. DO NOT SCALE FROM THIS DRAWING, USE DIMENSIONS GIVEN ONLY.
2. ALL LEVELS ARE IN METRES ABOVE ORDNANCE DATUM (AOD).
3. ALL DIMENSIONS ARE UNLESS OTHERWISE STATED.
4. THIS DRAWING IS FOR PLANNING PURPOSES ONLY AND IS SUBJECT TO 0:0:0:0.
5. ALL DIMENSIONS ARE SUBJECT TO THE APPROVAL OF THE LOCAL PLANNING AUTHORITY.

FOR PLANNING

wsp

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HELP WORTHING

LOWY ARCHITECTS

LEICWETH QUAY

BAWBY LEICWETH ROAD HIGHWAY IMPROVEMENTS
 GENERAL ARRANGEMENT (OPTION 2)

SCALE	1:500	1:1000	1:2000	1:5000
DATE	10/01/2024	10/01/2024	10/01/2024	10/01/2024
PROJECT	70053561-WSP-XX-XX-CE-OR-102	P01		
© WSP UK Ltd				



KEY

- PLANNING SITE BOUNDARY
- RESIDENTIAL
- EQUIPPED PLAY SPACE
- EXISTING WOODLAND
- GREEN INFRASTRUCTURE

REVISIONS

- | | | |
|---|------------|-----|
| A | 13.03.2022 | |
| B | 28.09.2022 | |
| C | 11.10.2022 | JAS |
- Plan revised to reflect updated masterplan

PAC SUBMISSION

1844/S.120C

LECKWITH QUAY
PARAMETER PLAN:
LAND USE

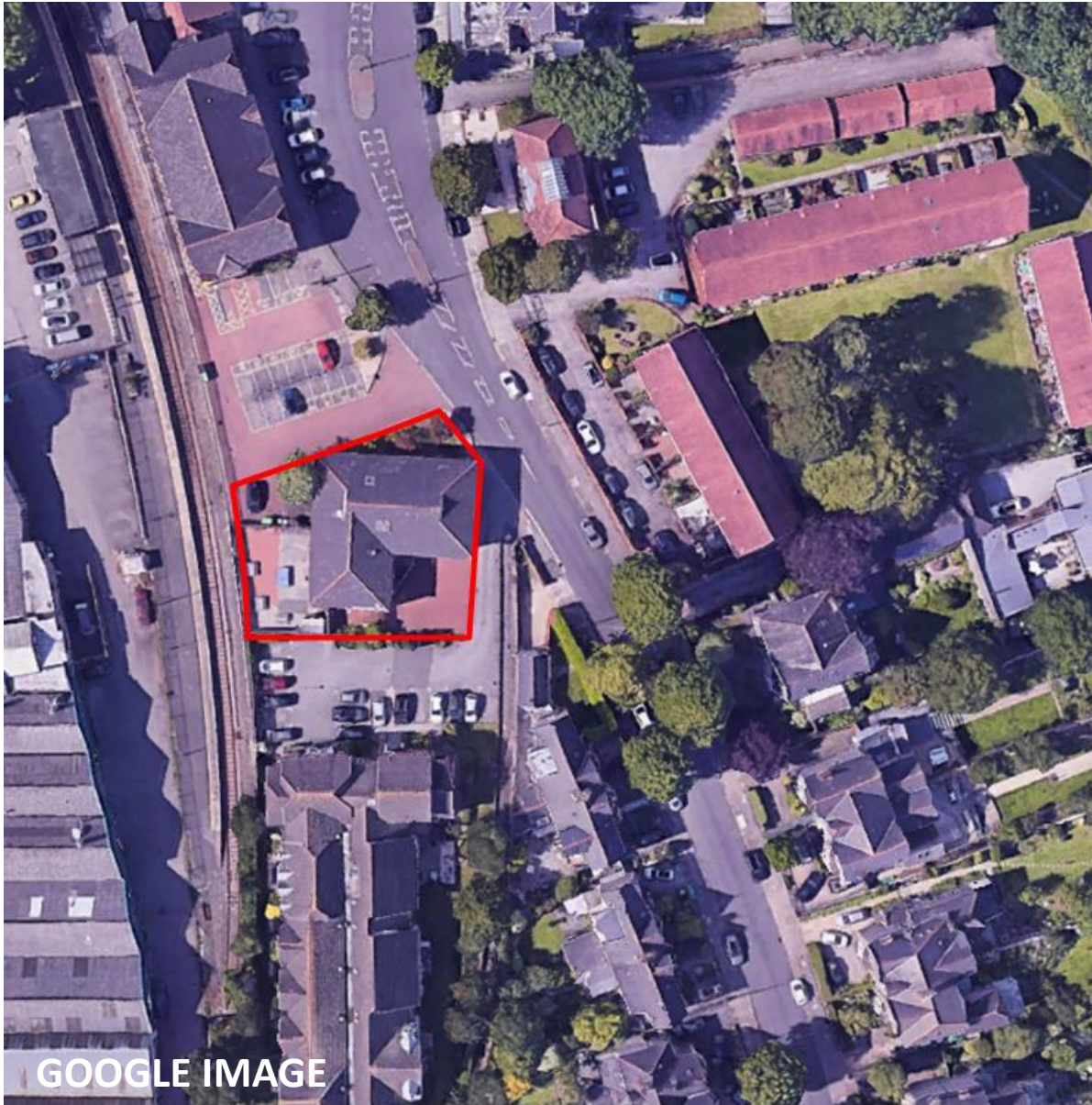
1:2500@A3 OCT 22

LOYN + CO

ARCHITECTS

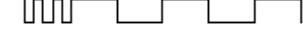
2021/00476/FUL– GM2 House, Plymouth Road, Penarth

Full planning application for a proposed 2 storey extension and associated works

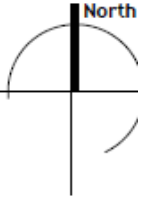
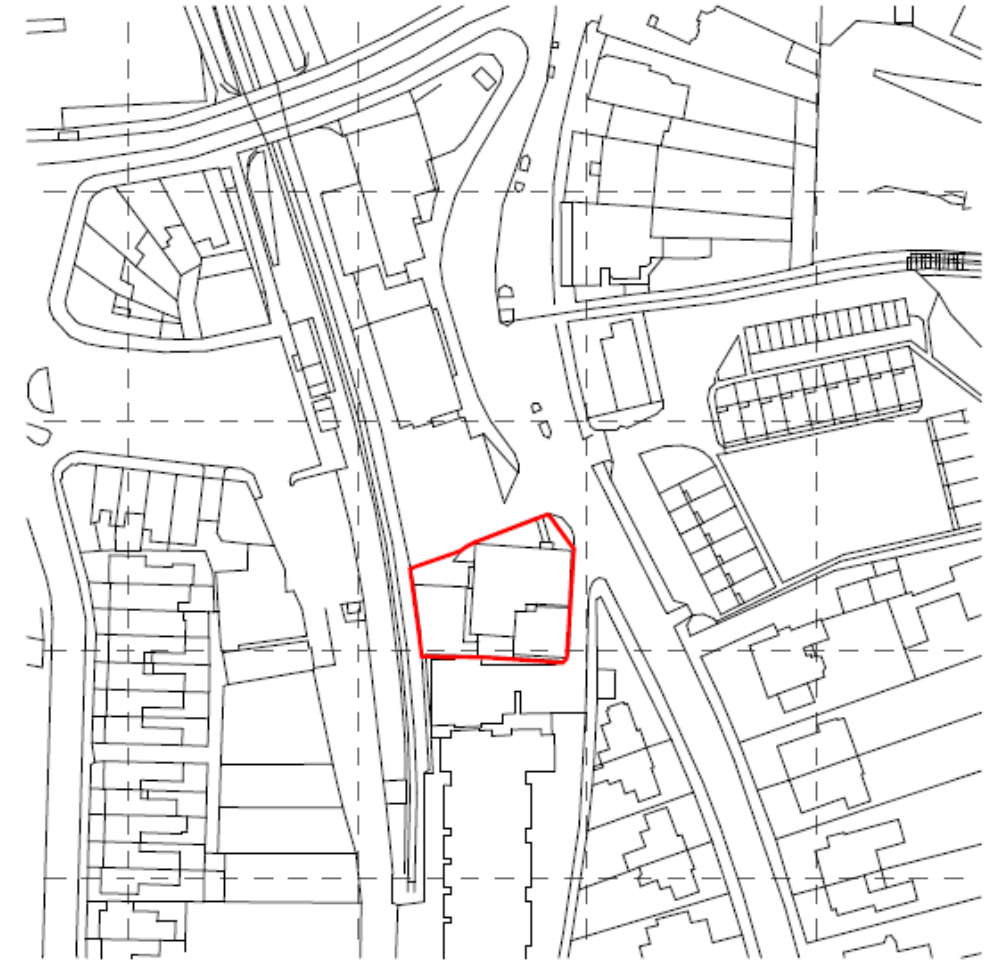


GOOGLE IMAGE

10 0 10 20 30 40 50 m



1:1250



01 SITE LOCATION PLAN
1:1250







Gimber Motors

GOOGLE IMAGE



0 2 4 6 8 10 m

car park

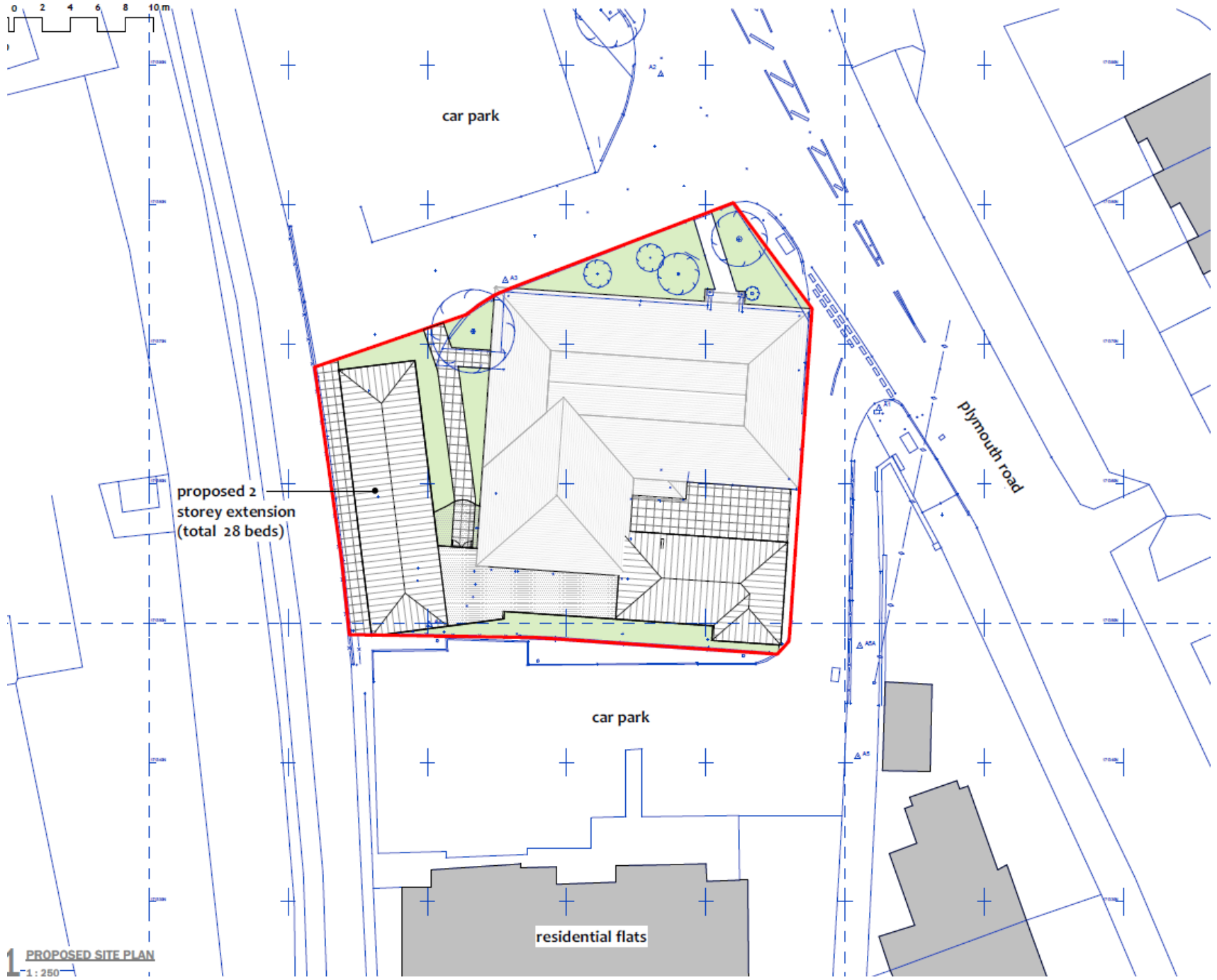
proposed 2
storey extension
(total 28 beds)

plymouth road

car park

residential flats

1 PROPOSED SITE PLAN
1:250



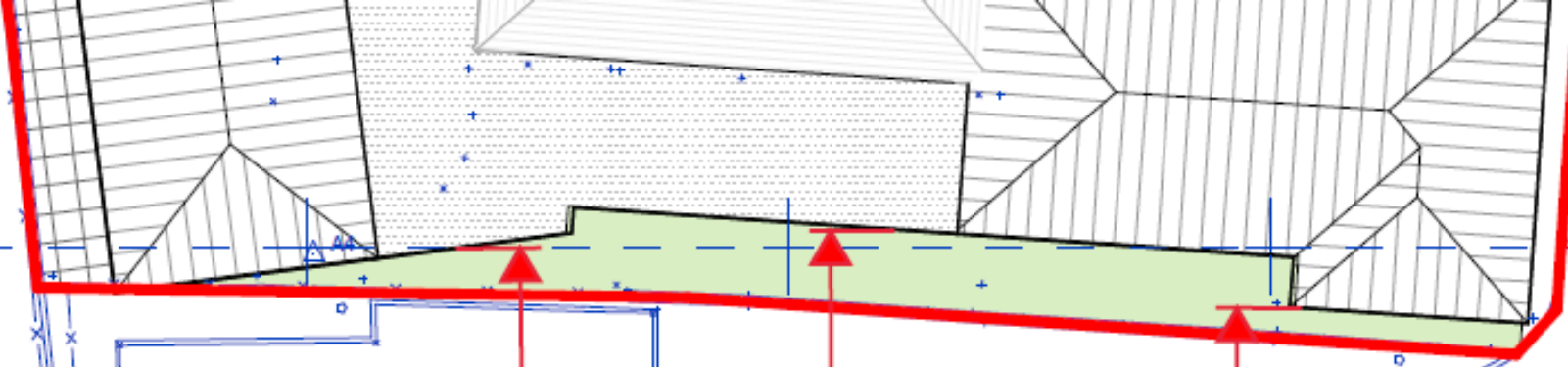












car park

1750.38 cm

1893.45 cm

1602.53 cm

residential flats

△ A5A

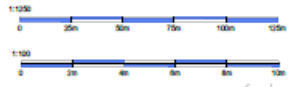
△ A5

Former design iterations



2023/00337/FUL - 7 Sycamore Close, Llandough, Penarth

Proposed two storey extension to rear elevation with hipped roof

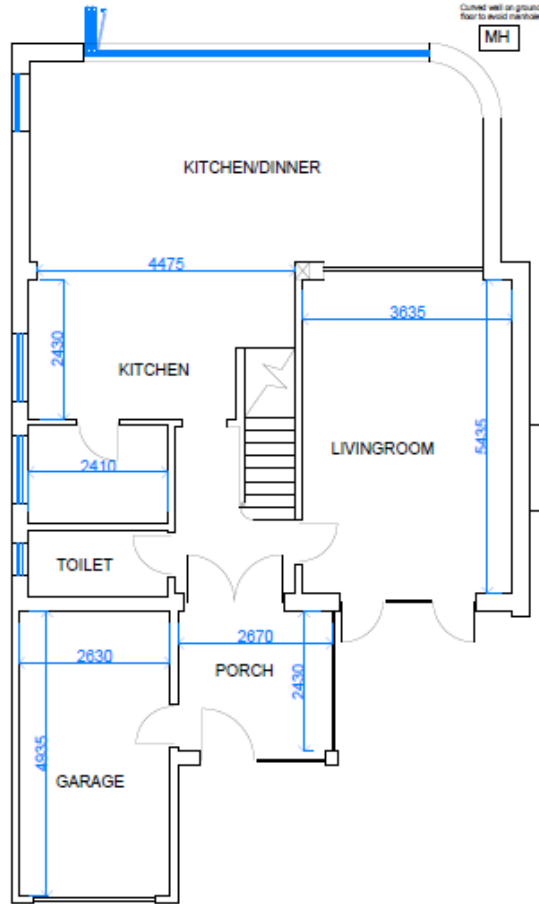


SYCAMORE CLOSE

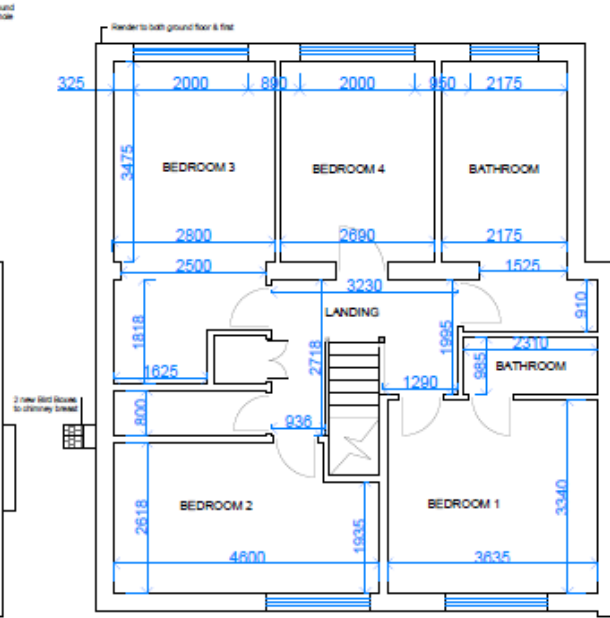


- Note:
- Extension to be fully rendered on both Floors
 - 2 no of bird boxes added to enhance bio-diversity
 - Existing host dwelling to be fully rendered

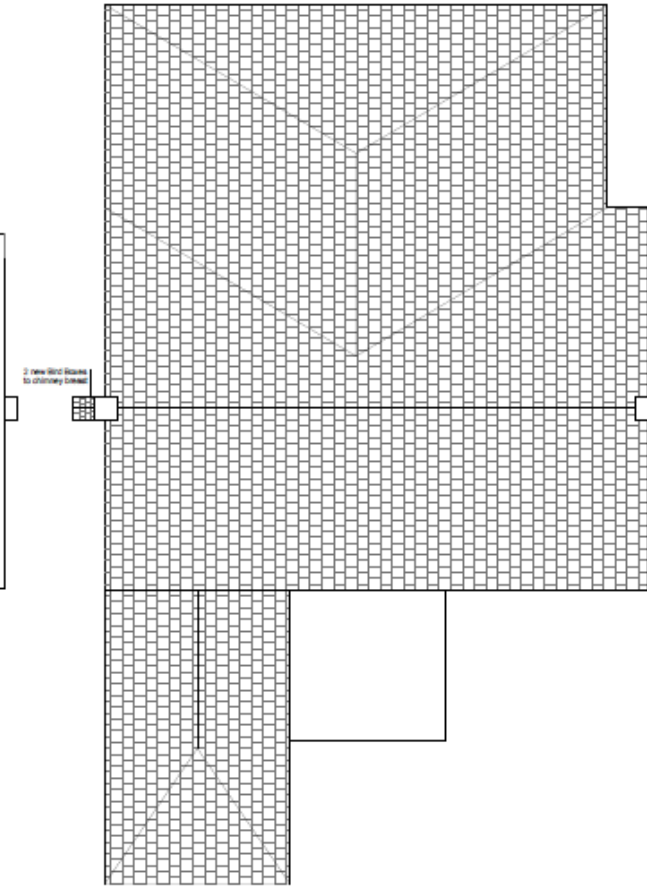




PROPOSED GROUND FLOOR



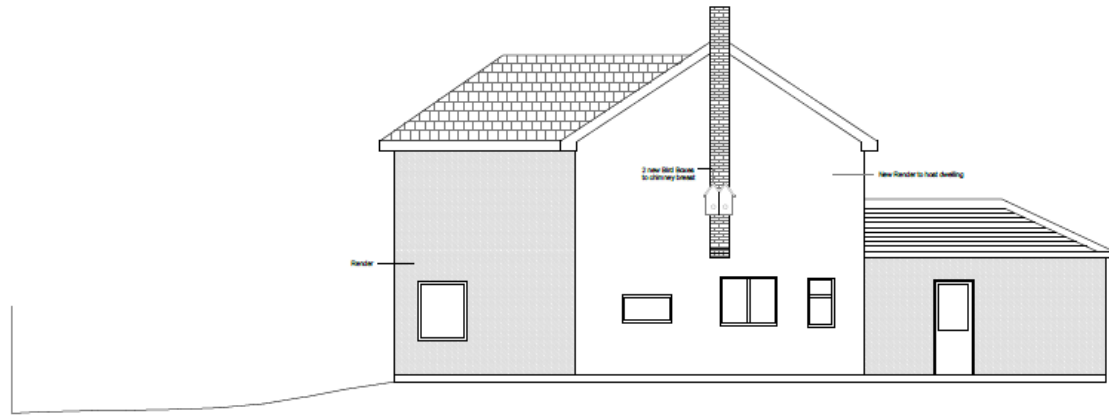
PROPOSED FIRST FLOOR



PROPOSED ROOF

Note:

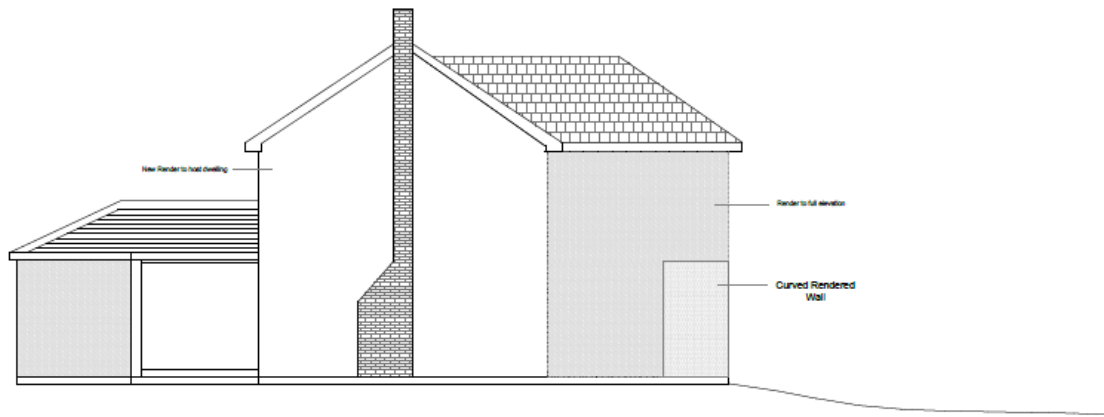
- Extension to be fully rendered on both Floors
- 2 no of bird boxes added to enhance bio-diversity
- Existing host dwelling to be fully rendered



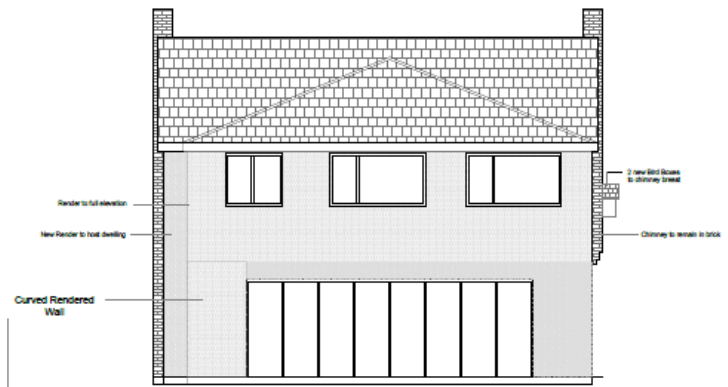
PROPOSED LEFT SIDE ELEVATION



PROPOSED FRONT ELEVATION



PROPOSED RIGHT SIDE ELEVATION

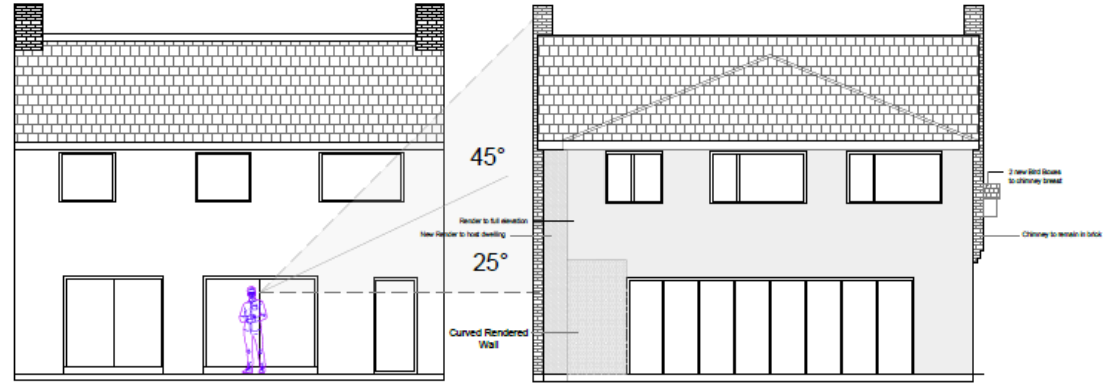


PROPOSED REAR ELEVATION

Note:

- Extension to be fully rendered on both Floors
- 2 no of bird boxes added to enhance bio-diversity
- Existing host dwelling to be fully rendered





Proposed Elevations





















